

AGENDA FOR THE



CITY OF PINOLE PLANNING COMMISSION REGULAR MEETING

Monday, June 27, 2016

7:00 P.M.

City Council Chambers, 2131 Pear Street, Pinole, CA 94564

In compliance with the Americans with Disabilities Act of 1990, if you need special assistance to participate in a City meeting or you need a copy of the agenda, or the agenda packet in an appropriate alternative format, please contact the Development Services Department at (510) 724-9014. Notification of at least 48 hours prior to the meeting or time when services are needed will assist the City staff in assuring that reasonable arrangements can be made to provide accessibility to the meeting or service.

Assistant listening devices are available at this meeting. Ask staff if you desire to use this device.

CONSENT CALENDAR:

All matters listed under the Consent Calendar are considered to be routine and non-controversial. These items will be enacted by one motion and without discussion. If, however, any interested party or Commissioner(s) wishes to discuss a consent item, it will be removed from the Consent Calendar and taken up in order after the last item under New Business.

PROCEDURE FOR CONSIDERING AN AGENDA ITEM:

At the beginning of an item, the Chair will read the description of that item as stated on the Agenda. The City Staff will then give a brief presentation of the proposed project. The Commission may then ask Staff questions about the item.

For those items listed as Public Hearings, the Chair will open the public hearing and ask the applicant if they wish to make a presentation. Those persons in favor of the project will then be given an opportunity to speak followed by those who are opposed to the project. The applicant will then be given an opportunity for rebuttal.

The Public Hearing will then be closed and the Commission may discuss the item amongst themselves and ask questions of Staff. The Commission will then vote to approve, deny, approve in a modified form, or continue the matter to a later date for a decision. The Chair will announce the Commission's decision and advise the audience of the appeal procedure.

Note: No Public Hearings will begin after 11:00 p.m. Items still remaining on the agenda after 11:00 p.m. will be held over to the next meeting.

CITIZEN PARTICIPATION:

Persons wishing to speak on an item listed on the Agenda may do so when the Chair asks for comments in favor of or in opposition to the item under consideration. After all of those persons wishing to speak have done so, the hearing will be closed and the matter will be discussed amongst the Commission prior to rendering a decision.

Prior to speaking on an item, you must fill out one of the speaker cards (available at the back of the Council Chambers) and hand it to the Secretary. If a number of persons wish to speak on an item, the Chair may limit each speaker to a set time period in which to address the Commission.

Any person may appeal an action of the Planning Commission or of the Planning Manager by filing an appeal with the City Clerk, in writing, within ten (10) days of such action. Following a Public Hearing, the City Council may act to confirm, modify or reverse the action of the Planning Commission or Planning Manager. The cost to appeal a decision is \$803.

Note: If you challenge a decision of the Commission regarding a project in court, you may be limited to raising only those issues you or someone else raised at the public hearing or in writing delivered to the City of Pinole at, or prior to, the public hearing.

A. CALL TO ORDER

B. PLEDGE OF ALLEGIANCE AND ROLL CALL

C. CITIZENS TO BE HEARD:

The public may address the Planning Commission on items that are within its jurisdiction and not otherwise listed on the agenda. Planning Commissioners may discuss the matter brought to their attention, but by State law (Ralph M. Brown Act), action must be deferred to a future meeting. Time allowed: five (5) minutes each.

D. CONSENT CALENDAR:

1. Planning Commission Meeting Minutes from June 13, 2016

E. PUBLIC HEARINGS:

1. Design Review (DR 16-08): Wendy's / Wingstop Restaurant Exterior Remodel

Request: Consideration of a design review request to modify an existing approximately 4,360 square foot restaurant building.

Applicant: Gary Hawkins
Gary Hawkins Architect
3045 Ceres Avenue Suite 135
Chico, CA 95973

Location: 1581 Fitzgerald Drive, APN: 426-392-011

Project Planner: Winston Rhodes

F. OLD BUSINESS: None

G. NEW BUSINESS:

1. Design Review Workshop (DR 16-15): San Francisco Bay Trail: Pinole Shores to Bayfront Park

Request: Consideration of a design review request to construct an approximately 0.5 mile long and 14' wide segment of the San Francisco Bay Trail extending a

non-motorized paved recreational trail along the San Pablo Bay Shoreline in Pinole from a hillside bluff across from Hazel Drive in Pinole Shores east over the Union Pacific Railroad (UPRR) tracks to connect to an existing path in Bayfront Park.

Applicant: East Bay Regional Park District
P.O. Box 5381
Oakland, CA 94605-0381

Location: East Bay Regional Park District property between Union Pacific Railroad and Burlington Northern Santa Fe Railroad tracks, Union Pacific Railroad right of way, and Bayfront Park along the San Pablo Bay shoreline (APN: 402-140-007, 402-140-001, 401-010-009, and 401-010-007)

Project Planner: Winston Rhodes

H. **CITY PLANNER'S/COMMISSIONER'S REPORT:**

I. **COMMUNICATIONS:**

J. **NEXT MEETING:**

Planning Commission Special Meeting, July 11, 2016 at 7:00PM

K. **ADJOURNMENT**

POSTED: June 23, 2016

Winston Rhodes, AICP
Planning Manager

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DRAFT

**MINUTES OF THE SPECIAL
PINOLE PLANNING COMMISSION**

June 13, 2016

A. CALL TO ORDER: 7:02 P.M.

B. PLEDGE OF ALLEGIANCE AND ROLL CALL:

Commissioners Present: Brooks, Hartley, Martinez-Rubin, Wong, Chair Kurrent

Commissioners Absent: Tave, Thompson

Staff Present: Winston Rhodes, Planning Manager
Nick Pappani, Raney Planning and Management
Charles Abrams, Abrams Associates

C. CITIZENS TO BE HEARD:

There were no citizens to be heard.

D. CONSENT CALENDAR:

1. Planning Commission Meeting Minutes from May 23, 2016

MOTION to approve the Planning Commission Meeting Minutes from May 23, 2016, as submitted.

MOTION: Martinez-Rubin SECONDED: Brooks APPROVED: 5-0-2
ABSENT: Tave, Thompson

E. PUBLIC HEARINGS:

**1. Design Review (DR 15-10) and Conditional Use Permit (CUP 15-02):
Gateway Medical Center**

Request: Consideration of a Design Review and Conditional Use Permit request to construct a new approximately 9,182 square foot two-story medical office building with 10 new automobile parking spaces and accompanying improvements for an ambulatory surgical center on an approximately 26,090 square foot parcel with 21 existing

1 automobile parking spaces and allow a proposed six auto
2 parking space reduction in the normally required number
3 of parking spaces.
4

5 **Applicant:** Agape, LLC
6 1214 McDonald Drive
7 Pinole, CA 94564
8

9 **Location:** Southeast corner of the intersection of Pinole Valley Road
10 and Henry Avenue, APN 401-211-033
11

12 **Project Staff:** Winston Rhodes, Planning Manager
13

14 Planning Manager Winston Rhodes reported that information had been received
15 after the distribution of the staff report dated April 25, 2016, including letters from
16 Pinole residents Jose Soria and Parker Walker; e-mail comments and concerns
17 received from Planning Commissioner Thompson, who was unable to attend the
18 meeting; and PowerPoints from the applicant and staff, copies of which had been
19 provided to the Planning Commission and made available to the public. He also
20 identified a correction to Attachment D, Draft Resolution to Item 14, as shown on
21 Page 3, to be revised to show a termination date of *June 13, 2017*.
22

23 NICK PAPPANI, Raney Planning and Management, presented a PowerPoint to
24 identify the California Environmental Quality Act (CEQA) requirements, and
25 reported that the project had been found to have no significant environmental
26 effects related to noise, air, traffic, water quality, public services and utilities, and
27 had been determined to be Categorically Exempt under CEQA.
28

29 CHARLIE ABRAMS, Principle, Abrams Associates, presented a PowerPoint to
30 identify the conclusions of a Parking Study Inventory Survey, an analysis of trip
31 generation, and proposed parking for the medical office building, with the
32 conclusion that the applicant's proposal to provide 31 parking spaces, six parking
33 spaces short of the normally required number, would be sufficient as long as the
34 applicant used other transportation means including financial incentives to
35 employees to use public transit.
36

37 Mr. Rhodes recommended approval of Design Review (DR 15-10) and Conditional
38 Use Permit (CUP 15-02) for Gateway Medical Center subject to findings and
39 conditions.
40

41 PUBLIC HEARING OPENED 42

43 DONNA VINGO, Envision Construction & Design, Dublin, General Contractors for
44 the Gateway Medical Center Surgical Center, stated the initial application had
45 been presented to the City Council, which had provided feedback to the applicant

1 resulting in revisions including articulation changes to better match the Kaiser
2 building, lowering the roof level, modifying the building colors, reducing the entire
3 building size by 800 square feet, reducing the required parking, and simplifying the
4 design to offer a cleaner and more professional appearance which complied with
5 all General Plan, zoning and land use requirements. The project also met the
6 requirements of the Three Corridors Specific Plan, which called for an intensity of
7 use along Pinole Valley Road. Landscaping had also been increased with
8 indoor/outdoor patios and attention to detail to ensure the project met what the City
9 Council had previously requested.

10
11 The Planning Commission Design Review Subcommittee had met in January
12 2016, at which time more refinements had been made to the project including a
13 color change. Additional refinements had been made after the Planning
14 Commission Workshop on April 25. In terms of the approval of the CUP, the
15 applicant must meet four standards to qualify for the CUP; the only standard not
16 met was a requirement for underground parking.

17
18 Dr. SCOTT LEE, Pinole, reported that after the April 2016 Planning Commission
19 Workshop, he had been encouraged to meet with the neighbors to discuss parking
20 concerns. Having gone door to door, he had found some of the neighbors had
21 been resistant given concerns with overflow parking on the street, although once
22 shown the overabundance of parking in the Kaiser lot and the traffic analysis,
23 many of the neighbors had changed their opinion, as evidenced by written letters
24 of support.

25
26 JOSE SORIA, Pinole, suggested the required parking should be provided with no
27 exceptions given the parking issues in the community; questioned where Kaiser
28 patients and employees would park given his understanding that Kaiser was at
29 capacity; expressed concern with overflow parking into the nearby neighborhood
30 regardless of the conclusions identified in the traffic study; the building should
31 blend with the existing architecture on Henry Avenue and the buildings across the
32 street; and the architecture should not be required to match the Kaiser building.

33
34 JAMES SHATTUCK, Pinole, had no connection with the project other than respect
35 for Dr. Lee who as a resident and business owner in the City of Pinole desired to
36 establish a respected practice in his hometown. He spoke to the amount of time
37 and money expended by Dr. Lee to establish the business, expressed concern
38 with overregulation, and found that many of the concerns raised were not
39 legitimate. He supported approval of the project.

40
41 JEANIE MARIE HARRIS, Pinole, a patient of Dr. Lee understood the concerns
42 with respect to parking and stated there was transportation available to patients.
43 She supported the color palette as contemporary and complementary to the
44 environment; did not see a conflict with Kaiser which was located on the other side
45 of the subject site; found the traffic and environmental studies to be acceptable;

1 and liked the idea of the patio and overhang on the building for protection from the
2 weather, as well as the graffiti resistant material and articulation on the building.

3
4 TERESA STOTT, representing the Bear Claw Bakery & Café, Pinole, supported
5 Dr. Lee's medical practice and his investment and much needed medical services
6 to the community.

7
8 MARY HORTON, Pinole, found the architecture of the building to be compatible
9 with the adjacent Kaiser building; liked the patio design which was artful and
10 appropriate; since Kaiser had not opined either for or against the project suggested
11 Kaiser was not concerned about the project; clarified Pinole was an urban city with
12 mixed uses and not an urban center; it had been the intent of the City Council for
13 Pinole to be a destination for all required services; and supported the project.

14
15 MAURA SULLIVAN, Pinole, understood that something would be built on the
16 property, was excited to see it would be filled by a local resident; was familiar with
17 the area and had not experienced any problems parking at Kaiser; but as a
18 resident of the Linda Heights neighborhood had concerns with the uncontrolled left
19 hand turn out of the site given the potential increase in traffic and limited sightlines.

20
21 MARK CROWDER, Pinole, a patient of Dr. Lee's emphasized the need to keep
22 doctors so that patients did not have to travel outside the area for medical care.

23
24 KEITH FREEMAN, Pinole, understood the City planned for a medical building on
25 the corner in accordance with plans approved in the past; understood people using
26 transit parked on the street; and supported the project.

27
28 BILL LOW, Pinole, echoed the support of previous speakers in support of Dr.
29 Lee's medical facility and urged approval of the project.

30
31 LEE GREER, Pinole, a patient of Dr. Lee also supported the application, and
32 commended Dr. Lee as a credit to his profession and an asset to the community.

33
34 BONNIE WEBB, Pinole, a patient of Dr. Lee urged the Planning Commission to
35 support the application and keep Dr. Lee and his medical services in the
36 community.

37
38 SEMION MIRKIA, Pinole, a patient of Dr. Lee, emphasized the medical services
39 provided and urged the approval of the application.

40
41 RICH DAVENPORT, Pinole, a patient of Dr. Lee suggested that parking on Henry
42 Avenue was more than adequate and supported the project as a benefit to the
43 City.

44
45 ROY RODRIGUES, Pinole, a patient of Dr. Lee had no issues with parking at Dr.

1 Lee's current medical office location given that patients were seen by the doctor for
2 a limited period of time and he did not see that parking would be an issue at the
3 subject location.
4

5 HARRY SINGH DOSANJH, Pinole, urged approval of the application to allow Dr.
6 Lee to remain in the community and not require patients to travel outside the area.
7

8 In response to the public comments, Mr. Charles Abrams from Abrams and
9 Associates explained that the driveway offered enough space back from Pinole
10 Valley Road and the sight distance setback from the building where there should
11 be no sight distance issues or special safety or hazardous situations with the
12 existing driveway location.
13

14 PUBLIC HEARING CLOSED

15

16 The Planning Commission discussed the proposed Gateway Medical Center
17 project and offered the following comments and/or direction to staff:
18

- 19 • Thanked Dr. Lee for his willingness to rework the project. [Brooks]
20
- 21 • Found that concerns raised in previous meetings related to parking had
22 been addressed satisfactorily; suggested the Traffic Demand Management
23 (TDM) Program would benefit patients in using public transportation,
24 mitigate use of vehicles, and offered a great opportunity to test that
25 program. [Martinez-Rubin]
26
- 27 • Found that the project aligned with existing development at Kaiser and the
28 Gateway Shopping Center; the building colors would blend in but given the
29 darker wall color it was difficult to visualize until the building was built, and
30 requested a mockup for the exterior color paint for the stucco color as a
31 condition of approval. [Wong].
32
- 33 • Liked the fact that the community continued to reinvest in itself;
34 commended Dr. Lee for his willingness to invest in the community; was
35 satisfied the use proposed would be accommodated on the site based on
36 the traffic analysis; was confident any overflow parking would not burden
37 the adjacent neighborhood; but urged the City to consider striping of the
38 parking in the area as a separate issue not related to the project; and
39 sought a feedback mechanism over the next three to five years with respect
40 to the TDM program, with a report back to the Planning Commission; and
41 recommended Condition 15 be modified to address the potential for special
42 events. [Hartley]
43
- 44 • Recommended Condition 6 be modified to address any special events or
45 an open house. [Kurrent]

1
2 After considerable discussion, the Planning Commission proposed several
3 modifications to Conditions 6 and 15, although the Commission ultimately decided
4 the following: *The regular operating hours of the Gateway Medical Center shall be*
5 *7:00 A.M. to 7:00 P.M. Monday through Saturday. Limited Sunday operations*
6 *shall be allowed only to accommodate medical emergencies.* The change was
7 made with the understanding that a special event would require the applicant to
8 obtain a Temporary Use Permit. By consensus, the Planning Commission
9 determined that Condition 15 should remain as initially shown, in Exhibit A since
10 special events would be covered under Temporary Use Permit provisions; and
11 deleted Condition 58 as a duplicate condition.
12

13 **MOTION** to adopt Resolution 16-05, with Exhibit A; Conditions of Approval, a
14 Resolution of the Planning Commission of the City of Pinole Approving a Design
15 Review Request (DR 15-10) and Approving a Conditional Use Permit (CUP 15-02)
16 for an Approximately 9,182 Square Foot Medical Office Building (APN: 401-211-
17 033) Located Southeast of the Intersection of Pinole Valley Road and Henry
18 Avenue, subject to:
19

- 20 • Attachment D, Draft Resolution, correct Item 14 as shown on Page 3 to
21 show the termination date as *June 13, 2017*;
- 22 • Exhibit A, delete Condition 58; and
- 23 • Exhibit A, revise Condition 6, to read: *The regular operating hours of the*
24 *Gateway Medical Center shall be 7:00 A.M. to 7:00 P.M. Monday through*
25 *Saturday. Limited Sunday operations shall be allowed only to*
26 *accommodate medical emergencies.*
27
28
29

30 **MOTION: Hartley**

SECONDED: Wong

APPROVED: 5-0-2

ABSENT: Tave, Thompson

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32
33 Chair Kurrent identified the 10-day appeal process of a decision of the Planning
34 Commission in writing to the City Clerk.
35

36 **F. OLD BUSINESS:** None

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38 **G. NEW BUSINESS:** None

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40 **H. CITY PLANNER'S / COMMISSIONERS' REPORT:**

41
42 Mr. Rhodes reported that the regular Planning Commission meeting scheduled
43 for June 27, 2016 would include one to two commercial projects. He also
44 encouraged Commissioners to complete the AB 1234 ethics training on-line, with
45 the Planning Commission to be apprised whether a potential joint session with

1 the City Council would be considered.
2

3 Commissioner Wong reported he would have to recuse himself from any future
4 discussions of the East Bay Regional Park District Pinole Shores to Bayfront
5 Park Bay Trail development given a potential conflict of interest.
6

7 **I. COMMUNICATIONS:**
8

9 The Planning Commission acknowledged receipt of the following:
10

- 11 **1. Copy of East Bay Regional Park District Informational Presentation**
12 **Made to City Council on June 7, 2016**
13

14 **J. NEXT MEETING:**
15

16 The next meeting of the Planning Commission will be held on Monday, June 27,
17 2016 at 7:00 P.M.
18

19 **K. ADJOURNMENT: 9:48 P.M**
20

21 Transcribed by:
22

23
24 Anita L. Tucci-Smith
25 Transcriber
26



Memorandum

TO: PINOLE PLANNING COMMISSION
FROM: WINSTON RHODES, AICP PLANNING MANAGER
SUBJECT: Wendy's / Wingstop Restaurant Exterior Remodel
DATE: JUNE 27, 2016

Building Owner:
Bikram Rwanda
1581 Fitzgerald Drive
Pinole, CA 94564

Applicant/Representative:
Gary Hawkins Architect
3045 Ceres Avenue, Suite 135
Chico, CA 95973

PROJECT: Wendy's / Wingstop Restaurant Exterior Remodel Design Review
FILE: DR 16-08
LOCATION: 1581 Fitzgerald Drive
APN: 426-392-011
GP DESIGNATION: Service Sub-Area (SSA)
SPECIFIC PLAN & ZONING: Appian Way Corridor Commercial Mixed Use (CMU)

REQUEST

The applicant is seeking Design Review approval to allow exterior modifications and new signage for the existing Wendy's / Wingstop restaurant site.

STAFF RECOMMENDATION

Hold a public hearing and adopt Resolution 16-06 conditionally approving exterior modifications and new signage for the Wendy's / Wingstop restaurant (DR 16-08).

SITE LOCATION

The existing Wendy's / Wingstop Restaurant site is located at 1581 Fitzgerald Drive on the north side of Fitzgerald Drive east of the existing Burger King Restaurant northwest of the intersection of Appian Way and Fitzgerald Drive.

Figure 1. Site Location



| Direction from Project Site | Land Use |
|-----------------------------|---|
| North | Parking Lot and I-80 Freeway |
| West | Burger King Restaurant |
| South | Fitzgerald Drive and Pinole Vista Center Retail (Carl's Jr. Restaurant and Dollar Tree) |
| East | Appian Way |

PROJECT DESCRIPTION

The applicant is seeking Design Review approval for exterior modifications including upgraded colors, materials and signage for the existing Wendy's / Wingstop restaurant owned by Mr.

Randhawa. The project is part of an effort by Wendy's to upgrade existing corporate architecture to its new image standards.

The existing restaurant building was constructed in 1985 and is approximately 4,360 square feet in area and sits on an approximately 0.95 acre site. There is a parking lot on the project site that will continue to be used by Wendy's / Wingstop customers and employees. There is an existing drive through that the applicant intends to continue to utilize in the future. No changes are proposed to on-site vehicular circulation.

BACKGROUND

The project site has historically been a restaurant site. The City has had previous concerns regarding landscaping on the project site. In recent years improvements to the landscaping have been made with the addition of ground cover, trees, and shrubs, but they were not designed by a landscape architect. The Planning Commission Development Review Subcommittee met to discuss the project on June 9, 2016. The Subcommittee was generally pleased with the proposed exterior changes to the building and recognized the visual importance of this prominent commercial corner on Appian Way. Issues discussed were the size and location of new on-building signage. The proposed building colors and materials and availability of bicycle parking. The applicant has subsequently lowered the new Wendy's signs to provide a maximum mounting height 18 inches below the highest portion of the building. Building colors have been changed based on the Wendy's approved color palette to provide greater contrast with sign colors, and silver aluminum background panels have been added to improve the visibility of the Wingstop signage on the eastern and western building elevations. Bicycle parking has also been added near the southwest corner of the building.

ANALYSIS

The project includes no expansion to the size of the restaurant. The Zoning Code does allow existing non-residential building projects that involve less than a 500 square foot increase in square footage to be administratively reviewed and approved by staff. However, staff does have the discretion to refer design review projects to Planning Commission for comprehensive design review because of location, size, design, or other aspect that warrants hearing by the Planning Commission. This project has been referred to the Planning Commission because of its location along one of the City's busiest commercial corridors and because the proposed design modifications would be a departure from the dominant architecture style reflected in close proximity to the project site along Fitzgerald Drive. The departure involves the replacement of a traditional tile roof with a new parapet roof and use of corporate colors and architectural materials.

General Plan and Three Corridor Specific Plan Consistency

The project site is designated Service Sub-Area in the General Plan. The General Plan SSA land use designation is intended to maintain and enhance existing land uses while providing land use flexibility and encourage new private investment and additional development. For the Appian Way vicinity the General Plan calls for maintaining and enhancing the regional gateway area into Pinole and capitalizing on freeway access to upgrade existing development and attract a desirable mix of services. The proposed project helps facilitate implementation of the General Plan by modernizing an existing restaurant building on a highly visible corner of the Appian Way corridor. Consequently, the exterior modifications support the City's economic development and job creation policy objectives. Below are applicable General Plan goals and policies that are supported by the proposed project:

Land Use and Economic Development Element

GOAL LU.7 Balance housing and employment opportunities to reduce trips in and out of the region and encourage commercial development which maintains and enhances the quality of the city's commercial areas, provides services for residents and broadens the tax base of the community to provide needed revenues for public services.

POLICY LU.7.1 Provide sufficient land for commercial and industrial uses to allow for development that provides basic goods and services to Pinole residents.

POLICY LU.7.2 Provide for economic development which (1) maintains the City's ability to finance services and the construction and maintenance of public improvements; (2) offers local employment opportunities for Pinole residents to reduce inter-city commuting; and (3) assures the availability and diversity of resident-serving goods and services.

GOAL LU.8 Concentrate commercial development and mixed-use activity areas within the Fitzgerald Drive, San Pablo Avenue, Pinole Valley Road, and Appian Way corridors.

Circulation Element

GOAL CE.5 Provide adequate parking and loading facilities while encouraging alternative means of transportation.

The proposed project helps implement the General Plan by enhancing the appearance of the existing restaurant building and improving the scale of the on-building signage. The willingness to include bicycle parking and making transit and rideshare information available also supports policy direction in the General Plan Circulation Element to encourage alternative means of transportation.

The Appian Way Corridor Service Sub-Area is intended to serve as a regional gateway into Pinole and capitalize on its existing reputation as a regional shopping center by upgrading existing development and attracting increasingly desirable commercial tenants. The proposed project, as conditioned, enhances the exterior condition of this commercial building and by replacing weathered exterior materials, improving the scale of signage relative to building architecture, and replacing sparse landscaping at this prominent commercial corner property

Exterior Building Modifications

The applicant is proposing to modify the existing exterior with a new parapet roof, new color scheme and siding materials, new signage, and new landscaping. The applicant proposes to remove the existing mansard tile roof and replace the roof with vertical parapets and add a metal band to the roof edge. The proposed primary building height is approximately 18 feet with three parapet blades extending 2-3 additional feet. The proposed maximum height of 21' is well within the maximum height of 75 feet for this zone within the Appian Way Corridor Service -Subarea. The proposed architectural design is a more modern design that matches the corporate identity makeover that Wendy's is seeking for its franchise stores. The elimination of the tile roofing would be a departure from much of the existing building designs in the vicinity of the project site along Fitzgerald Drive except for the adjacent Taco Bell and Burger King restaurants that reflects new corporate architecture using parapets and eliminating tile roofing. The proposed parapet roof is also intended to screen the proposed roof equipment. A proposed condition of approval has been included within the attached draft resolution to require all roof equipment to be fully screened from public view.

The proposed color scheme includes repainting the slumpstone brick veneer portion of the building shell "Wendy's Grey" and painting the trim accent features "Wendy's Dark Bronze" along roughly the bottom half of the building. The applicant is also proposing to include a "Regal Red" color for two of the most prominent parapet features on the south and east elevations. Staff is recommending eliminating the red color from lower half of the building on the east elevation and utilizing the grey color below the corrugated metal band. The same red color is proposed as an accent color at the drive through window and for bollards located on the project site. The south and east elevation includes tan "Wendy's Woodgrain" Crossville accent tile material near the southeast building entrance. Staff is recommending use of the tan tile on both sides of the building doorway on the southeast building entrance for more continuity. The upper portion of the building would have a bronze corrugated metal panel that would surround the building with a "Wendy's Silver" aluminum trim cap to provide a contrasting color for the proposed new Wendy's signage and re-used existing Wingstop signage proposed for the north and west elevations. The applicant is utilizing both color and material changes to modernize and update the building architecture and replace aging building components. A color / material board will be available at the meeting for review. A draft condition of approval has been added that final colors will be confirmed in the field with staff prior to final occupancy to see how the colors actually appear on the building in the field.

Signage

The applicant is proposing 8 on-building signs (see Attachment B). According to the project plans (page 1) 294 square feet of permanent signage is proposed. Chapter 17.52 of the Zoning Code allows a maximum of 250 square feet of permanent sign area for establishments with a floor area between 2,501-5,000 square feet. For properties with more than one street frontage an additional 20 percent of sign area is allowed. Therefore, the Zoning Code allows 300 square feet of signage for the building. The 294 square feet of sign area is consistent with the allowable sign area. However, this total does not appear to include one of the on-building signs on the south elevation or the menu board signage. The project has been conditioned to meet the 300 square foot maximum sign area standard. This could be accomplished by decreasing the size of the proposed on-building signs, eliminating some permanent exterior signage, or by substituting temporary interior signage inside windows for some of the exterior signage now proposed on the exterior of the building.

Lighting

The applicant is not proposing any details for new on-building or free-standing lighting. A draft condition of approval has been added to require submittal of a photometric study to evaluate current light levels along existing and proposed walkways as well as near the drive through area in an effort to ensure safe lighting levels are provided on-site without creating off-site glare. The Commission may want to consider incremental upgrades to the existing lighting through repainting the existing poles and pedestals to match proposed building colors or modifications to the fixture heads to create a more modern and efficient design which complements the proposed building architecture. Currently there are four multi-headed light fixtures on the project site. Below are two pictures to help illustrate the current free-standing light fixture design and condition. Existing light poles show evidence of graffiti with flood lighting in currently in place.





Circulation and Parking

Vehicular access to proposed project site is from a shared Fitzgerald Drive driveway southwest of the existing restaurant building. The driveway is shared with the adjacent Burger King restaurant west of the project site. On-site circulation follows a counter clockwise directional pattern. The applicant is proposing to retain 50 existing diagonal auto parking spaces including three spaces for disabled members of the public and/or employees.

The Zoning Code parking standard for restaurants is 1 parking space per 100 square feet of gross floor area excluding kitchen and other non-public areas. The public portion of the restaurant building is approximately 2,204 square. The required auto parking spaces for the building is 23 spaces. Therefore, there is a surplus of 27 parking spaces. It should be noted that the restaurant is also in close proximity to existing bus stops along Fitzgerald Drive. A draft condition of approval has been added requiring the provision of transit and rideshare information for the public and employees. This information is available free of charge to any business from the West Contra Costa Transportation

Advisory Committee staff.

The site currently includes no bicycle parking. The applicant is proposing to add a bicycle rack with two (2) new spaces at southeast corner of the restaurant building. The Three Corridors Specific Plan requires bicycle parking for all commercial projects and specifies that retail projects include one indoor secure bicycle storage space per 10% of retail worker planned occupancy and provide no fewer than four bicycle spaces per project site. A proposed condition has been added to the draft resolution to satisfy the applicable Specific Plan indoor and outdoor bicycle parking requirements.

Landscaping

While visiting the site, staff noticed that there are very few trees on the project site and several areas within the parking and drive thru area where shrubs or groundcover has died. The Three Corridors Specific Plan requires that landscaping shall be well maintained and that dead plant material shall be removed promptly and replaced in a timely fashion to preserve a well-kept appearance of the property. The applicant has proposed new landscaping (see Sheet L1 and L2). Proposed landscaping includes four different ground covers, seven varieties of drought tolerant shrubs, and five new deciduous Japanese Zelkova trees. Staff is recommending that the trees be increased in size from 15 gallon specimens to 24" box sizes to have a more immediate visual benefit and increase available shade within the parking lot area as well as satisfy the requirement that 25 percent of all new trees be a minimum of 24" box size. Staff is also recommending the addition of two evergreen trees along Fitzgerald Drive southeast of the building to add visual interest.

ENVIRONMENTAL REVIEW

The project is Categorically Exempt per Section 15301, Existing Facilities of the California Environmental Quality Act Guidelines (CEQA) in that the project consists of the remodeling of an existing commercial building involving no expansion.

CONCLUSION

The proposed project is in compliance with the General Plan land use requirements and is consistent with General Plan goals that call for encouraging and supporting the local economy and encouraging commercial development that maintains and enhances the quality of the city's commercial areas, provides services for residents, and broadens the tax base of the community. The project, as conditioned, satisfies the applicable requirements of the Three Corridors Specific Plan and pertinent sections of the Zoning Code. While the proposed architecture is more modern than some of the surrounding buildings, it is compatible with the nearby restaurants on the north side of Fitzgerald Drive in terms of its size, scale, and materials. The project also upgrades an aging commercial building that is over 30 years old and serves to revitalize an important site along Fitzgerald Drive and the Appian Way corridor adjacent to Interstate 80.

ATTACHMENTS

- A. Draft Resolution 16-06 with Exhibit A: Conditions of Approval
- B. Project Plans date stamped received June 16, 2016
- C. Project color and material information (to be provided at the meeting)

**PLANNING COMMISSION RESOLUTION 16-06
WITH EXHIBIT A: CONDITIONS OF APPROVAL**

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF PINOLE APPROVING A DESIGN REVIEW REQUEST FOR EXTERIOR MODIFICATIONS AND NEW BUSINESS SIGNAGE FOR A WENDY'S / WINGSTOP RESTAURANT at 1581 FITZGERALD DRIVE (APN: 426-392-011)

WHEREAS, Gary Hawkins Architect (hereinafter referred to as applicant) filed an application with the City of Pinole (hereinafter referred to as City) for a design review request (DR16-08) in order to construct exterior modifications to an existing approximately 4,360 square foot restaurant building at 1581 Fitzgerald Drive (APN: 426-392-011) in accordance with Title 17 of the Pinole Municipal Code; and

WHEREAS, the Planning Commission of the City of Pinole is the appropriate authority to hear and take action on this project upon referral by staff; and

WHEREAS, the Planning Commission of the City of Pinole finds that in accordance with the California Environmental Quality Act, the project is Categorically Exempt per Section 15301 of the California Environmental Quality Act, in that it meets the criteria of an Existing Facilities because it entails the remodeling and operation of an existing restaurant with no expansion in use; and

WHEREAS, the Planning Commission has conducted a duly noticed public hearing to consider DR 16-08 on June 27, 2016, and

WHEREAS, after the close of public hearing, the Planning Commission considered all public comments received both before and during the public hearing, the presentation by City staff, the staff report, and all other pertinent documents regarding the proposed development.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Pinole hereby finds, determines, and resolves as follows:

1. The Planning Commission has considered the full record before it, which may include but is not limited to such information as the staff report, testimony by staff and the public, and other materials and evidence submitted or provided to it. Furthermore, the recitals set forth above are true and correct and are incorporated herein by reference.
2. The applicant has proposed a new roof design, building color scheme, new architectural elements including new siding material, new trim finishes, new signage, and landscaping for the existing Wendy's / Wingstop restaurant at 1581 Fitzgerald Drive. All proposed signage, as conditioned, complies with the Zoning Code.
3. The proposed modifications are consistent with the objectives of the General Plan; comply with applicable zoning regulations and applicable provisions of the Three Corridors Specific Plan.
4. The proposed project will not create conflicts with vehicular, bicycle, or pedestrian transportation modes of circulation.
5. The site layout including building orientation, parking areas, landscaping, and lighting are compatible with an complement the existing surrounding environment and ultimate character of the area under the General Plan and Three Corridors Specific Plan.
6. Based upon the depth and variety of architectural components and colors, the remodeled Wendy's

/ Wingstop restaurant at 1581 Fitzgerald Drive will not be unsightly, obnoxious or undesirable in appearance, and will not hinder the harmonious development of the area, impair the desirability of the area for the uses permitted, nor limit the opportunity to attain optimum use and value of the land and improvements, or otherwise adversely affect the general property and welfare.

7. The proposed development creates a well-composed urban design, harmoniously related to the other existing development within the immediate area.
8. The project is, or has been conditioned to be, in conformance with all City standards and specifications to ensure a well-designed site composed of a visually-appealing structure and provision of adequate on-site landscaping areas.
9. Special consideration has been given to those elements of the design that have a significant relationship to the exterior appearance of the building including height, bulk, and scale, layout on the site, and building material selection.
10. Approves Design Review request 16-08 as provided in the staff report, and subject to the Conditions of Approval attached as Exhibit A to this Resolution.
11. The approval of the Design Review 16-08 shall terminate on June 27, 2017, unless exercised and actual construction or alteration under valid permits has begun within said period or a written request has been submitted to the City, prior to the expiration date, for an extension of time as allowed under the Zoning Ordinance.

The above action is final unless an appeal is filed pursuant to Chapter 17.10 of the Pinole Municipal Code within ten (10) calendar days following Planning Commission action.

PASSED AND ADOPTED by the Planning Commission of the City of Pinole on this 27th day of June 2016, by the following vote:

AYES:
NOES:
ABSTAIN:
ABSENT:

Dave Kurrent, Chair, 2016-2017

ATTEST:

Winston Rhodes, AICP, Planning Manager



Exhibit A
Planning Commission Resolution 16-06 CONDITIONS OF APPROVAL

| | <u>Timing/ Implementation</u> | <u>Monitoring Department / Division</u> | <u>Verification (date and Signature)</u> |
|----|---|---|--|
| 1. | The project shall be constructed in substantial compliance with the approved Design Review Package for the Wendy's Remodel; DR 16-08, approved by the Planning Commission and plans date stamped received June 16, 2016, unless otherwise conditioned. | Planning | |
| 2. | The Applicant shall hold harmless the City, its Council Members, its Planning Commission, officers, agents, employees, and representatives from liability for any award, damages, costs and fees incurred by the City and/or awarded to any plaintiff in an action challenging the validity of this permit or any environmental or other documentation related to approval of this permit. Applicant further agrees to provide a defense for the City in any such action. | Planning | |
| 3. | All building permit drawings and subsequent construction shall substantially conform with the approved planning application drawings. Any modifications must be reviewed by the Planning Manager who shall determine whether the modification requires additional approval of the Planning Commission or City Council. | Planning Division | |



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| | | <u>Timing/ Implementation</u> | <u>Monitoring Department / Division</u> | <u>Verification (date and Signature)</u> |
|----|--|-----------------------------------|--|--|
| 4. | The proposed project shall be built and operate in a manner consistent with all applicable federal, State, and local regulations. | Ongoing | Development Services, Police, and Fire Departments | |
| 5. | Failure to obtain prior approval to modify the approved plans may result in having to pay double the original planning application permit fee and/or withholding of the occupancy permit until such time as the modification(s) to the plans has been reviewed by the Planning Manager and approved by the Planning Commission. | On-Going | Development Services | |
| 6. | <p>The following provisions to control noise, dust, and construction debris nuisance construction:</p> <p>A. Building construction activities shall occur between 7:00 A.M. and 5:00 P.M., Monday through Friday. Interior construction work only may also occur between 9:00A.M. and 6:00P.M. on Saturday unless a modification of construction hours is requested and granted by the City as allowed under Chapter 15.02 of the City Municipal Code.</p> <p>B. All construction vehicles shall be properly maintained and equipped with exhaust mufflers and meet State and Federal standards.</p> | On-Going | Building Division | |



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|----|--|---|--|
| | C. All construction debris shall be covered with a tarp during transit to and from the site. The site shall be cleaned on a daily basis and construction material shall be screened from view or stored within the interior of the existing building. | | |
| 7. | All exterior materials and colors are to be consistent with approved project color / material boards. Once installed, all improvements are to be maintained in accordance with the approved plans. Any changes which materially affect the exterior character shall be resubmitted to the Development Services Department for review and approval. Minor changes may be approved by the Planning Manager. Any changes determined by the Development Services Department to be non-minor may be referred to the Planning Commission after conferring with the Chair of the Planning Commission. | Development Services | |
| 8. | GRAFFITI AND VANDALISM CONTROL The property owner and operator shall keep the site clear of graffiti and repair any vandalism or auto accident damage on a regular and continuous basis. Graffiti-resistant materials shall be used when feasible. All graffiti shall be removed within 72 hours. | Development Services | |



Exhibit A
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| | | <u>Timing/ Implementation</u> | <u>Monitoring Department / Division</u> | <u>Verification (date and Signature)</u> |
|-----|---|---------------------------------------|---|--|
| 9. | The applicant and property owner shall ensure that landscape material located on the project site is well-maintained. Any landscaping planting material that dies shall be promptly replaced. | Ongoing | Development Services | |
| 10. | The restaurant operator shall make rideshare and public transit information continuously available on premises to employees and customers. | Ongoing | Development Services Department | |
| 11. | BUSINESS EMERGENCY INFORMATION FORM – The property owner shall complete a Police Department "Business Emergency Information Form" and shall deliver it to the Police Department for review and approval prior to project completion. | Ongoing | Police | |
| | Prior to Issuance of Building Permits | | | |
| 12. | The applicant shall modify the plans to show that all currently damaged bollards and railings on the projects site shall be replaced. | Prior to Issuance of Building Permits | Development Services Department | |



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| | | <u>Timing/ Implementation</u> | <u>Monitoring Department / Division</u> | <u>Verification (date and Signature)</u> |
|-----|---|---------------------------------------|---|--|
| 13. | The applicant shall ensure that the roof parapets are designed to fully screen all roof equipment from public view. | Prior to Issuance of Building Permits | Development Services Department | |
| 14. | The project plans shall be revised to include the sign area for all proposed permanent signage including drive through menu boards on the west side of the building and all on-building signage on the south side of the building. Proposed sign sizes shall be adjusted to ensure that total sign area does not exceed 300 square feet consistent with Chapter 17.52 of the Zoning Code. | Prior to Issuance of Building Permits | Development Services Department | |
| 15. | Modify the east elevation design to replace the proposed red plaster paint noted as PEX-2 below the existing truss height of 9' 5" with painted grey plaster slumpstone noted as PEX-4. | Prior to Issuance of Building Permits | Development Services Department | |
| 16. | Modify the south elevation to replace the proposed prefinished aluminum trim noted as PEX-9 to the right of the Wendy's store entrance with Crossville tile noted as T-1 | Prior to Issuance of Building Permits | Development Services Department | |
| 17. | The applicant shall modify the landscape plan to include evergreen as well as deciduous trees to provide year round visual interest. Two additional trees shall be included southwest of the building along | Prior to Issuance of Building | Planning Division | |



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| | | <u>Timing/ Implementation</u> | <u>Monitoring Department / Division</u> | <u>Verification (date and Signature)</u> |
|-----|--|---------------------------------------|---|--|
| | Fitzgerald Drive. All trees shall be 24" box rather than 15 gallon specimens. | Permits | | |
| 18. | The applicant shall provide a lighting plan that includes photometric information to ensure adequate illumination of the project site for review and approval by the Development Services Department and Police Department. The plan shall include design specifications of all building mounted and free-standing light fixtures. All light fixtures shall be designed to direct light downward to minimize glare and light intensity shall provide adequate visibility and security at night. The plan shall include motion sensitive lighting within the trash enclosure. | Prior to Issuance of Building Permits | Development Services and Police Departments | |
| 19. | All Design Review Conditions shall appear on the project building plans. | Prior to Issuance of Building Permits | Development Services Department | |
| 20. | The applicant shall submit a final bicycle parking design information for review and approval by the Development Services Department that includes proposed specifications in the building plans to complement the building design. The bicycle parking shall include a minimum of four bicycle parking spaces, one of which shall be a secure indoor space for an employee bicycle. | Prior to Issuance of Building Permits | Development Services Department | |



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| | | <u>Timing/ Implementation</u> | <u>Monitoring Department / Division</u> | <u>Verification (date and Signature)</u> |
|-----|---|---------------------------------------|---|--|
| 21. | PERMITS, BONDS, AND INSURANCE - The applicant shall obtain an encroachment permit, posting the required bonds and insurance, for any work to be done in the City's right-of-way. This encroachment permit shall be obtained prior to the issuance of a building permit and prior to any work being done in the City's right-of-way. | Prior to Issuance of Building Permits | Development Services Department | |
| 22. | MATERIAL HAULING - The applicant shall submit a proposed material hauling route and schedule. The City Engineer prior to issuance of a building or site development permit shall approve said submittal. All material hauling activities including but not limited to, adherence to approved route, hours of operation, dust control and street maintenance shall be the responsibility of the applicant (as per Section 15.36.080 of the Municipal Code). Violation of such may be cause for suspension of work. | Prior to Issuance of Building Permits | Development Services Department | |
| 23. | CONSTRUCTION PLANS FOR FIRE PREVENTION - Prior to issuance of a building permit, building construction plans and plans for fire extinguishing system shall be submitted to the Fire Prevention Bureau for review and approval as per Section 2.202 of the Uniform Fire Code. | Prior to Issuance of Building Permit | Fire Department | |
| | Prior to Issuance of Occupancy Permit | | | |
| 24. | INSPECTIONS - The applicant shall notify the Development Services Department at least forty-eight (48) hours prior to starting any work | During Construction | Development | |



Exhibit A
Planning Commission Resolution 16-06 CONDITIONS OF APPROVAL

| | <u>Timing/ Implementation</u> | <u>Monitoring Department/ Division</u> | <u>Verification (date and Signature)</u> |
|-----|---|--|--|
| | <p>pertaining to on-site drainage facilities, grading, or paving, as well as all any work in the City's right-of-way as per Section 15.36.230 of the Municipal Code.</p> <p>The applicant shall arrange all inspections with the Building Division, Fire Department, and Public Works Division. All Building Division inspection requests shall be made at least 24 hours in advance.</p> | Services | |
| 25. | The construction site shall be cleaned of garbage and debris on a daily basis and maintained in an orderly fashion. All construction equipment shall be secured at the end of each day of construction. | Development Services | |
| 26. | The proposed building paint colors shall be applied to sample areas of the building for confirmation prior to scheduling the exterior painting changes. | Prior to Occupancy Permits | |
| 27. | The exterior building elevations and landscaping, and lighting shall be reviewed for consistency with the approved plans by the Planning Manager or his/her designee. | Prior to Occupancy Permits | |
| 28. | FIRE EXTINGUISHERS - Prior to issuance of a "Certificate of Occupancy" or final building inspection, an approved fire extinguisher shall be installed as required by the Fire Prevention Bureau as per Section 1002 of the Uniform Fire Code. | Fire Department | |



Exhibit A
Planning Commission Resolution 16-06 CONDITIONS OF APPROVAL

| | | <u>Timing/ Implementation</u> | <u>Monitoring Department / Division</u> | <u>Verification (date and Signature)</u> |
|-----|--|-----------------------------------|---|--|
| 29. | FIRE PREVENTION FEES AND INSPECTION - Prior to issuance of a "Certificate of Occupancy" or final building inspection, the applicant shall pay all applicable fees in accordance with the Master Fee Schedule, Schedule D, adopted by the City of Pinole and obtain an inspection from the Fire Prevention Bureau. All meetings and inspections require a 48 hour advanced notice as per Section 2.202 and Article 4 of the Uniform Fire Code. | Prior to Occupancy Permit | Fire Department | |
| 30. | ADDRESSING - Prior to issuance of a "Certificate of Occupancy" or final building inspection approved illuminated numbers and addresses shall be installed on all buildings in compliance with Section 15.02.050 of the Municipal Code. | Prior to Occupancy Permit | Building Division | |
| 31. | SIDEWALK, CURB AND GUTTER REPAIR - The applicant shall repair and replace to existing City standards, any sidewalk, curb and gutter that is damaged now or during construction of this project. | Prior to Occupancy Permit | Development Services Department | |
| 32. | BICYCLE PARKING - The applicant shall ensure that a bicycle rack that can accommodate at least three bicycles is installed at the project site on the east side of the restaurant building and shall include provisions for one secure indoor bicycle parking space. | Prior to Occupancy Permit | Planning Division | |

| EXTERIOR SIGNAGE | | | EXTERIOR FINISH SCHEDULE | | |
|--|-----------------------|-------|---|--|--|
| NORTH | ENG STOP LARGE LOGO | 53 SF | REFER TO SHEET A-4 FOR DETAILED FINISH INFORMATION | | |
| EAST | WENDY'S 12'-5" | 43 SF | BREAK METAL TRIM - FURNISHED "CLASSIC BRONZE" | | |
| | ENG STOP + LOGO | 14 SF | CORRUGATED METAL PANEL - FURNISHED "CLASSIC BRONZE" | | |
| SOUTH | WENDY'S 12'-5" | 43 SF | METAL BLADE CAP - FURNISHED "RED" | | |
| | | | PAINT: WENDY'S DARK BRONZE | | |
| EAST | WENDY'S 12'-5" | 32 SF | PLASTER, PAINT: WENDY'S EXTERIOR RED | | |
| | QUALITY IS OUR RECIPE | 1 SF | PLASTER, PAINT: WENDY'S EXTERIOR RED | | |
| | ENG STOP | 48 SF | NOT USED | | |
| | | | PERFORMED ALUMINUM TRIM: WENDY'S SILVER | | |
| | | | POSSIBLE COAT/PART: "BLACK" | | |
| | | | CROSSVILLE TILE 6.5241: WENDY'S DOORGLASS | | |
| | | | PRO-TEK ROLLARD SLAT: "RED" | | |
| TOTAL PROPOSED SIGNAGE = 241 SF (500 SF ALLOWABLE) | | | | | |



LEFT ELEVATION (FITZGERALD DRIVE) - SOUTH



FRONT ELEVATION (APPIAN WAY) - EAST

ATTACHMENT B

RECEIVED
JUN 16 2016
CITY OF PINOLE
DEVELOPMENT SERVICES DEPT.

Wendy's
1581 FITZGERALD DRIVE, PINOLE, CA 94564

APN: 426-392-011
STORE #: 04TTT



GARY HAWRONS ARCHITECT
3045 Carole Ave., Ste. 135
Chico, CA 95973
(530) 892-2700
gary@gharchi.com

Per Date: 6/16/2016
By: Gary Hawrons
Title: Architect
Scale: 1/8" = 1'-0"

Sheet: 1
Date: 6-1-2016
Drawn: CC
Job No: B-128

| EXTERIOR SIGNAGE | | | EXTERIOR FINISH SCHEDULE | | |
|--|--|-------|--|---|--|
| NORTH | END 5'0" LARGE LOGO | 53 SF | REFER TO SHEET A-4 FOR DETAILED FINISH INFORMATION | | |
| H-1 | BREAK METAL TON - PREFINISHED "CLASSIC BRONZE" | | H-1 | BREAK METAL TON - PREFINISHED "CLASSIC BRONZE" | |
| WEST | RENDIT'S 0'-5" | 43 SF | H-2 | CONCRETE METAL PANEL - PREFINISHED "CLASSIC BRONZE" | |
| END 5'0" + LOGO | | 44 SF | H-3 | METAL BLADE CAP - PREFINISHED "CLASSIC BRONZE" | |
| SOUTH | RENDIT'S 0'-5" | 43 SF | PEX-1 | PAINT: RENDIT'S DARK BRONZE | |
| EAST | RENDIT'S 0'-5" | 43 SF | PEX-2 | PLASTER, PAINT: RENDIT'S EXTERIOR RED | |
| QUALITY IS OUR RECIPE | 4 SF | | PEX-3 | PLASTERED SUPERSTONE, PAINT: RENDIT'S GREY | |
| END STOP | 46 SF | | PEX-4 | NOT USED | |
| TOTAL PROPOSED SIGNAGE = 241 SF (200 SF ALLOWABLE) | | | PEX-5 | PREFINISHED ALUMINUM TRIM: RENDIT'S SILVER | |
| | | | PEX-6 | POWDER COAT/PAINT: BLACK | |
| | | | T-1 | CROSSVILLE TILE 4'x24", RENDIT'S "WOODGRAIN" | |
| | | | BL-1 | PRO-TEK BOLLARD SLAVE: RED | |



RIGHT ELEVATION - NORTH



RIGHT ELEVATION - WEST

Wendy's

1581 FITZGERALD DRIVE, PINOLE, CA 94564

APN: 426-392-011
STORE #: 04TT1



GHA
GARY HAWKINS ARCHITECT
3045 Ceres Ave., Ste 130
Oakland, CA 94612
(510) 892-2700
gary@ghaeco.com

Per Date: 6/23/2016
Scale: 1/8" = 1'-0"
Drawing: 1/8" = 1'-0"
Author: GHA
Checker: GHA
Reviewer: GHA

Date: 6-2016
Drawn: GHA
Job No: 16-018

2

GENERAL NOTES

- [illegible]

ABBREVIATIONS

[illegible]

SYMBOLS LEGEND

| | | | | | |
|--|---------------|--|----------------------------------|--|---|
| | NEW GRID LINE | | REVISION CLOUD | | SECTION DETAIL REFERENCE SHEET NUMBER |
| | DOOR MARK | | ROOM NAME ROOM NUMBER | | ELEVATION NUMBER & DIRECTION SHEET NUMBER |
| | KEY NOTE | | EQUIPMENT NOTE | | B ELEVATION HEIGHT RANGE LOCATION IN SPACE |
| | REVISION SNAG | | DETAIL REFERENCE SHEET NUMBER | | 1/2 PANEL |

TABLE 5504.43
RMAULDBHDE LIMITS

| Medium Penetration Resin in 1/4" or 1/2" Section | Category: L< |
|--|----------------|
| Medium speed wear test | 0.05 |
| Medium speed scratch test | 0.04 |
| Medium speed scratch test | 0.04 |
| Medium speed scratch test | 0.11 |
| Medium speed scratch test | 0.15 |

1. Values in this table are derived from those specified by California Air Resources Board, Air Toxics Cleanup Measures for the State of California, 1995, and California Code of Regulations, Title 17, Sections 9320 through 93202.

2. Medium speed scratch test has a maximum thickness of 1/4" (6.35 mm).

TABLE 5.504.4.1

| | |
|--|-----|
| Fire-retardant coatings | 360 |
| Floor coatings | 100 |
| Form-release compounds | 300 |
| Grout and coatings (high points) | 300 |
| High-temperature coatings | 420 |
| Industrial maintenance coatings | 240 |
| Isolative maintenance coatings | 300 |
| Low-solids coatings | 120 |
| Magnesium cement coatings | 480 |
| Masonry coatings | 100 |
| Moist-barrier coatings | 100 |
| Multicoat coatings | 500 |
| Preventative mast primers | 420 |
| Primers, sealers, and undercoats | 420 |
| Reactive permeability sealers | 100 |
| Resepaled coatings | 360 |
| Roof coatings | 30 |
| Rust-inhibitive coatings | 240 |
| Shingles | 760 |
| Slurries | 360 |
| Specialty primers, sealers, and undercoats | 100 |
| Stucco | 280 |
| Stone consolidators | 480 |
| Swimming pool coatings | 340 |
| Tieoff, masonry coatings | 400 |
| Tie and tile refinish coatings | 400 |
| Waterproofing membranes | 280 |
| Wood coatings | 270 |
| Wood preservatives | 580 |
| Zinc-rich primers | 540 |

DESCRIPTIVE SUMMARY OF WORK

THIS PROJECT IS THE REMODEL OF AN EXISTING WENDY'S RESTAURANT TO MEET CURRENT CORPORATE DESIGN STANDARDS. THIS WORK INCLUDES, BUT IS NOT LIMITED TO, REMODEL OF BUILDING EXTERIOR, INTERIOR FINISHES AND SITE ACCESSIBILITY UPGRADES.

FIRE SPRINKLERS

ALL EXTERIOR SIGNAGE SHALL BE UNDER SEPARATE PERMIT

SPECIAL INSPECTIONS

FIRE SPRINKLER CONTRACTOR SHALL SUBMIT PLANS AND GET APPROVALS PRIOR TO BUILDING CLOSING IN FOR MODIFICATIONS TO EXISTING SYSTEM FOR CHANGES TO BALL LAYOUT, CEILING, AND ATTIC SPACE.

PROJECT COMPLIANCE WITH C.B.C. 11B-202

IT IS THE INTENTION OF THE PROPOSED SCOPE OF WORK TO ENSURE THAT THE SUBJECT EXISTING FACILITY MEET THE ACCESSIBILITY REQUIREMENTS OF THE 2003 CALIFORNIA BUILDING CODE SECTION B-102 ACCESSIBILITY FOR EXISTING BUILDINGS. THE PROPOSED WORK WILL TAKE CAREFUL AREAS OF THE EXISTING BUILDING ACCESSIBLE ACCORDING TO THE PROHIBIT LIST DESCRIBED IN THE SMO CODE AND IS DESCRIBED IN THE FOLLOWING SUMMARY OF WORK.

2013 GREEN CODE COMPLIANCE

4. ACCESSIBLE RESTROOMS
A) EXISTING RESTROOMS TO BE REMODELED TO COMPLY WITH CURRENT ACCESSIBILITY STANDARDS.
5. ACCESSIBLE DINING SURFACES
A) 5% OF DINING SURFACES SHALL BE ACCESSIBLE. REFER TO FLOOR PLAN.

5.303.3 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. REFER TO SHEET 7 FOR MAXIMUM ALLOWABLE FLUSH VOLUMES.

5.303.4 PLUMBING FIXTURES AND FITTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE 2003 CALIFORNIA PLUMBING CODE AND THE REFERENCED STANDARDS IN CEC TABLE K01 AND CHAPTER 6 OF THE 2006 CALIFORNIA GREEN BUILDING CODE.

ACCORDANCE WITH SECTION 5.604(1) 5.604.2 OF THE NON-HAZARDOUS CONSTRUCTION OF THE AMB/ON SALVAGE FOR REUSE A MIN

- [illegible]

CODE DATA AND SQUARE FOOTAGE

| OCCUPANCY CALCULATIONS | |
|------------------------|--|
| STORE TYPE: | NON-STANDARD |
| STORE ID: | 0-11 |
| LOCATION: | 155 FITZGERALD DRIVE, PINOLE, CA 94664 |
| STORES: | 1 |
| APPLICABLE CODES: | 203 CALIFORNIA BUILDING CODE 203 CALIFORNIA MECHANICAL CODE 203 CALIFORNIA PLUMBING CODE 203 CALIFORNIA ELECTRICAL CODE 203 CALIFORNIA ENERGY CODE 203 CALIFORNIA FIRE CODE 203 CALIFORNIA GREEN BUILDING CODE |
| OCCUPANCY: | A-2 |
| USE: | RESTAURANT |
| CONSTRUCTION: | VB - SPRINKLED, 1-HOUR CORRIDOR (OCC. LOAD 120) |
| STRUCTURE MECH: | EXISTING: 0'-0" 0'-0" A.F. RENOVATION: 21'-0" A.F. |
| USE: | RESTAURANT |
| AREA: | CONDITIONED AREA: 1340 SF DECKS: 218 SF WALKST. (NOT A PART): 1204 SF COMMON AREA: 433 SF |

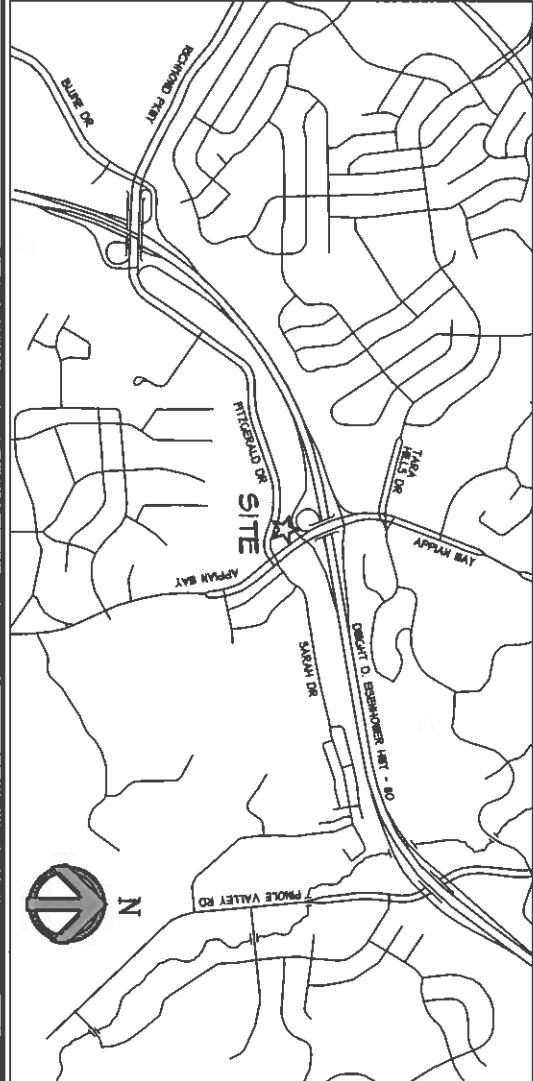
SHEET INDEX

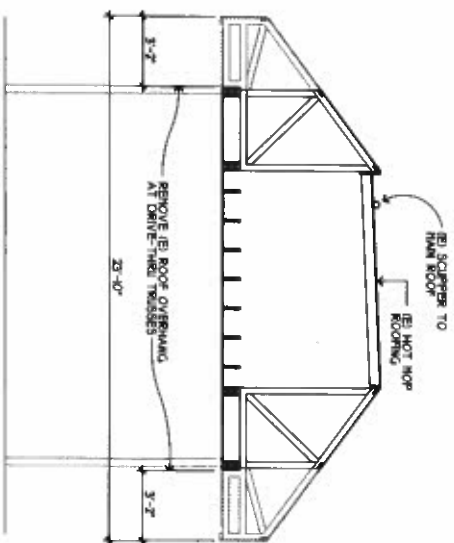
| | |
|-------|--|
| 3H1 | DESCRIPTION |
| 7 | CODE ANALYSIS, SHEET INDEX, VICINITY MAP |
| 8 | GENERAL NOTES, SUMMARY OF WORK, ABBREVIATIONS |
| 9 | GREEN BUILDING, NON-RESIDENTIAL, HANDICAPED MEASURES |
| 10 | VOC LIMIT TABLES, WATER REDUCTION FIXTURE FLOW RATES |
| D-1 | FLOOR PLAN - AS BUILT/DEMOLITION |
| D-2 | REFLECTED CEILING PLAN - AS BUILT/DEMOLITION |
| D-3-1 | EXTERIOR ELEVATIONS - AS BUILT/DEMOLITION, FRONT, LEFT |
| | SECTION CUTS - AS BUILT/DEMOLITION |
| D-3-2 | EXTERIOR ELEVATIONS - AS BUILT/DEMOLITION, REAR, RIGHT |
| A-1 | SITE PLAN - IMPROVEMENTS |
| A-2 | FLOOR PLAN - RENODEL |
| A-3 | REFLECTED CEILING PLAN - RENODEL |
| A-4-1 | EXTERIOR ELEVATIONS - RENODEL, FRONT, LEFT |
| A-4-2 | EXTERIOR ELEVATIONS - RENODEL, REAR, RIGHT |
| A-5 | ROOF PLAN |
| A-6-1 | ARCHITECTURAL SECTIONS AND DETAILS |
| A-6-2 | ARCHITECTURAL DETAILS |
| A-7-1 | FINISH SCHEDULE |
| A-7-2 | APPROVED SUPPLIERS LIST |
| A-8-1 | INTERIOR ELEVATIONS - DINING ROOM |
| A-8-2 | INTERIOR ELEVATIONS - RESTROOMS |
| | RESTROOM RENODEL PLAN |
| | DOOR SCHEDULE, RESTROOM FIXTURE SCHEDULE |
| AC-1 | ACCESSIBILITY DETAILS |
| AC-2 | ACCESSIBILITY DETAILS |
| AC-3 | ACCESSIBILITY DETAILS |
| AC-4 | ACCESSIBILITY DETAILS |
| E-1 | POWER PLAN |
| E-2 | LIGHTING PLAN |
| SP-1 | GENERAL NOTES, SPECIFICATIONS |
| SP-2 | SPECIFICATIONS |
| SP-3 | SPECIFICATIONS |
| 3-1 | STRUCTURAL NOTES |
| 3-2 | ROOF FRAMING PLAN |
| 3-3 | STRUCTURAL WALL SECTIONS AND DETAILS |
| 3-4 | STRUCTURAL WALL SECTIONS AND DETAILS |

PROJECT TEAM | DIRECTORY

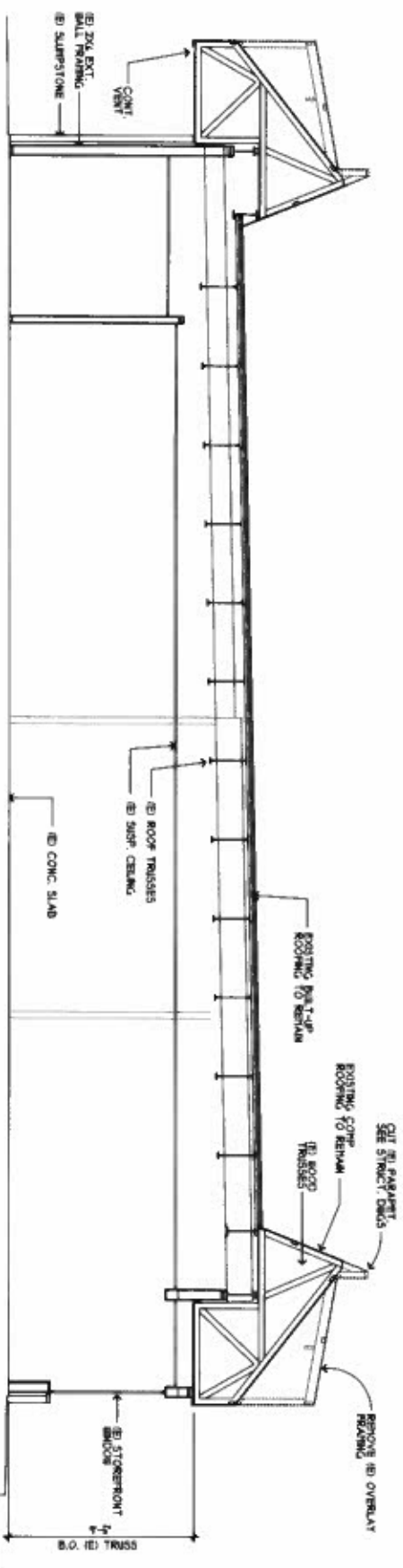
| | |
|------------------|---------------------------|
| OWNER: | BICKRAH RANDHAWA |
| TELEPHONE: | 800-367-9294 |
| E-MAIL: | BRANDHAW@SCGLOBAL.NET |
| PROJECT ADDRESS: | 1681 MITCHELL DRIVE. |
| | PIOLE, CA 94544 |
| | |
| ARCHITECT: | GARY HAWKINS ARCHITECT |
| | 3045 CERES AVE. STE 135 |
| | CHICO, CA. 95713 |
| | CONTACT: GARY HAWKINS |
| | TELEPHONE: (530) 872-2100 |
| | FAX: (530) 873-0532 |
| | E-MAIL: GARY@GHACHICO.COM |

VICINITY MAP

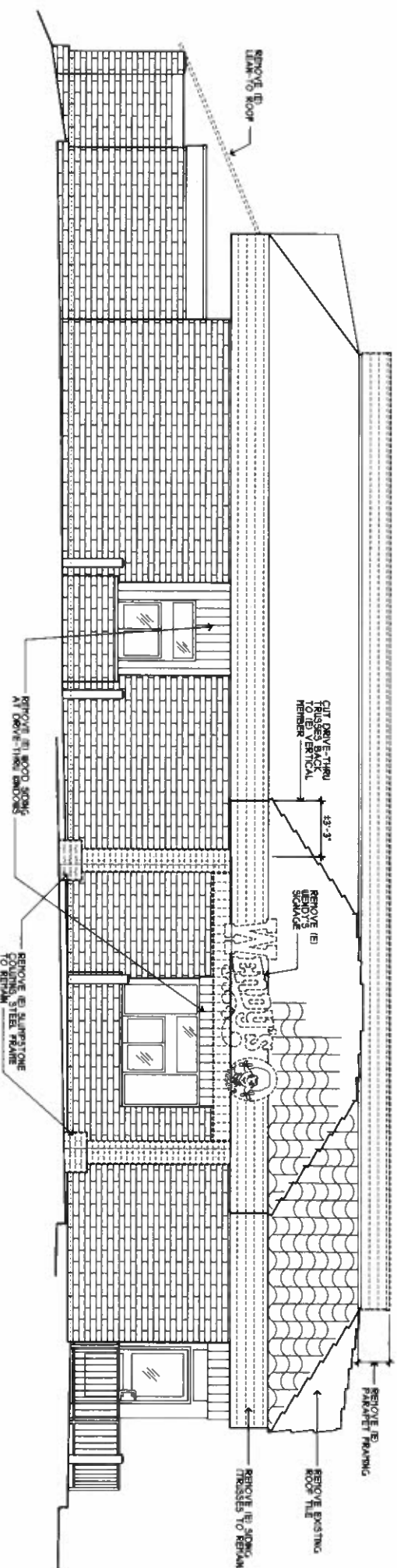




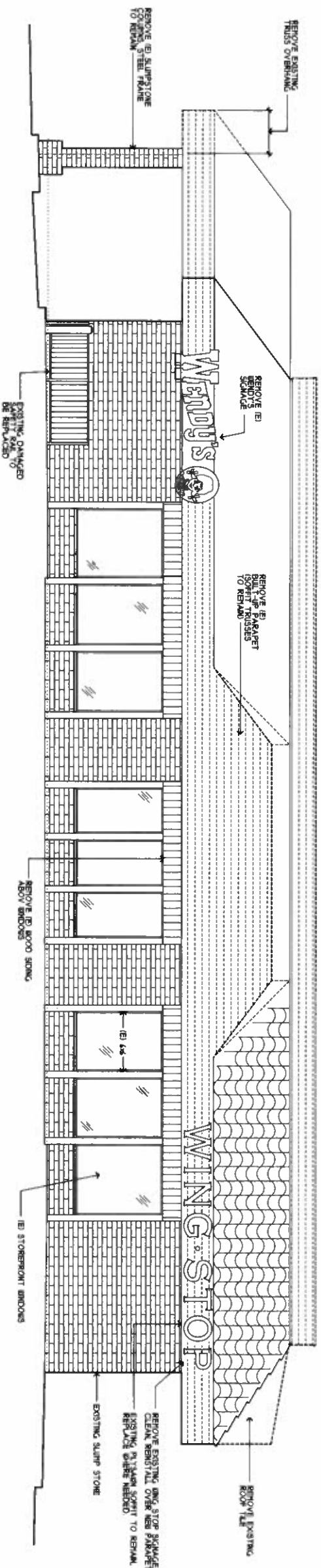
SECTION THRU DRIVE-THRU



TYPICAL SECTION

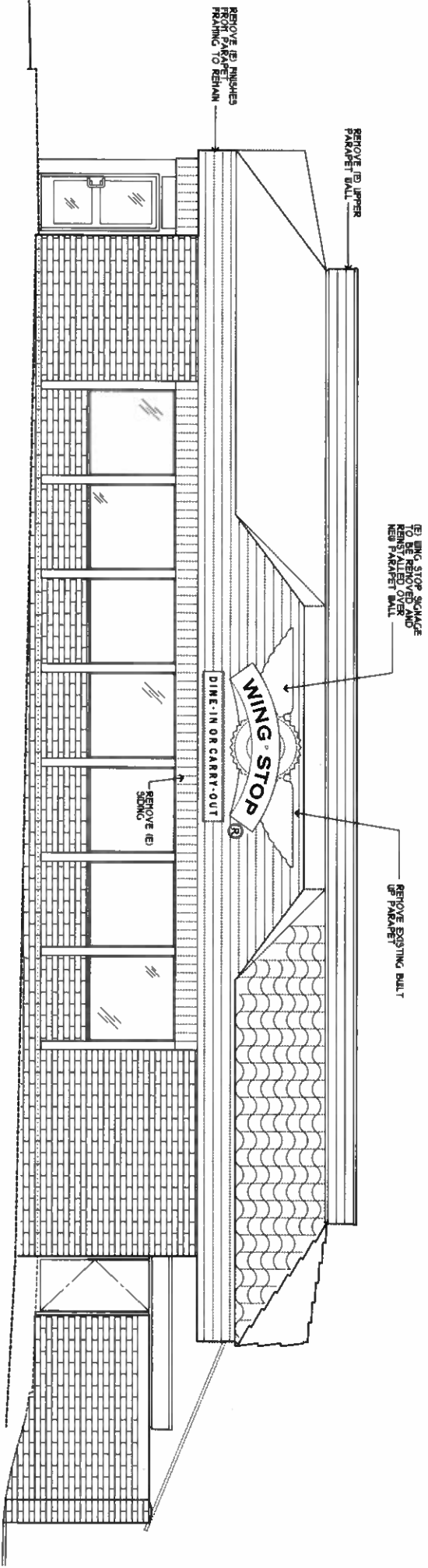


LEFT ELEVATION (FITZGERALD DRIVE) - SOUTH

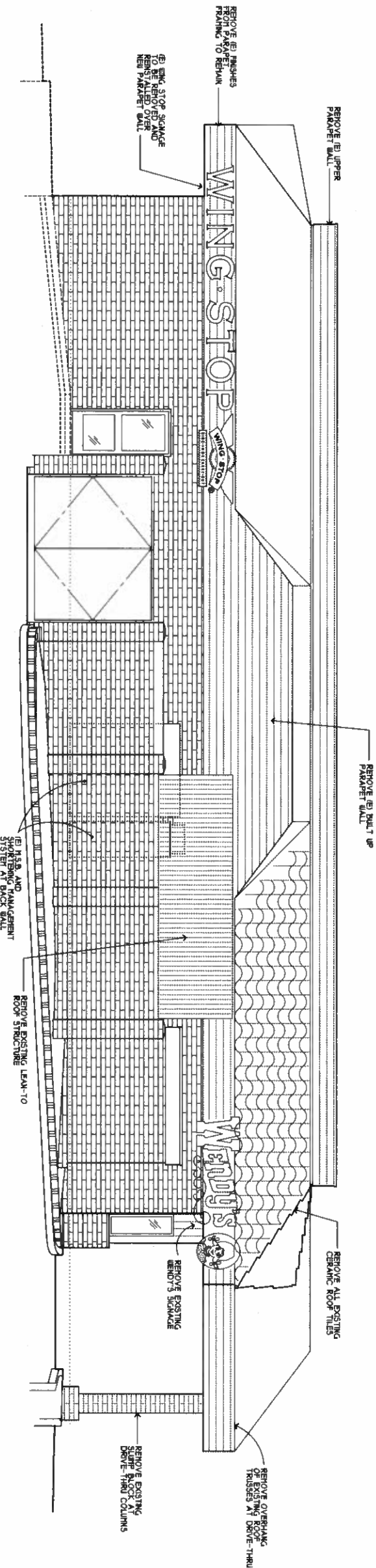


FRONT ELEVATION (APPIAN WAY) - EAST

**DEMOLITION
EXTERIOR ELEVATIONS**



RIGHT ELEVATION - NORTH



REAR ELEVATION - WEST

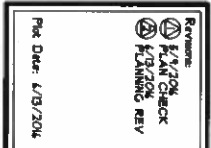
DEMOLITION EXTERIOR ELEVATIONS

SCALE: 1/4"=1'-0"

Wendy's

1581 FITZGERALD DRIVE, PINOLE, CA 94564

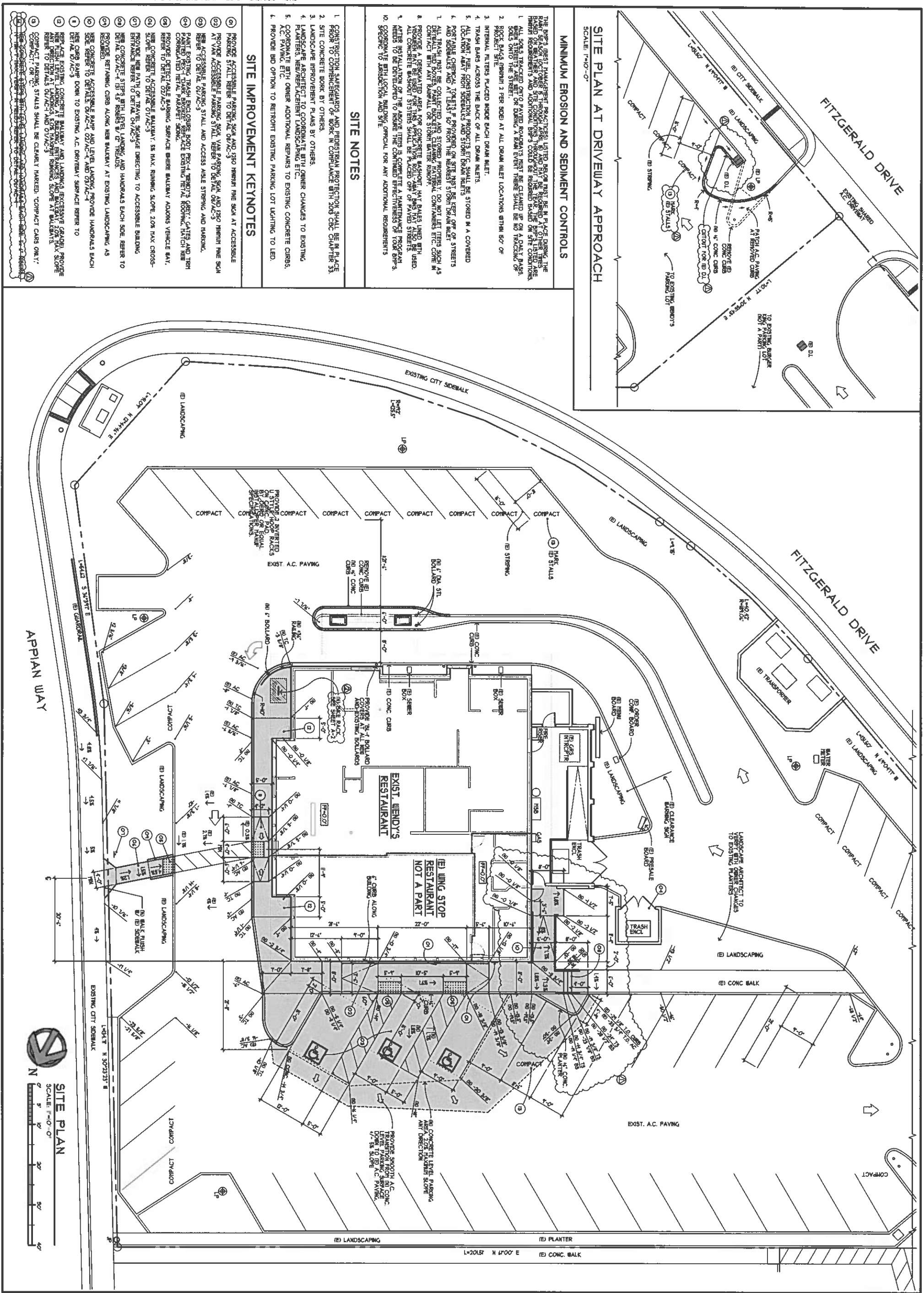
APN: 426-392-011
STORE #: 04TTT



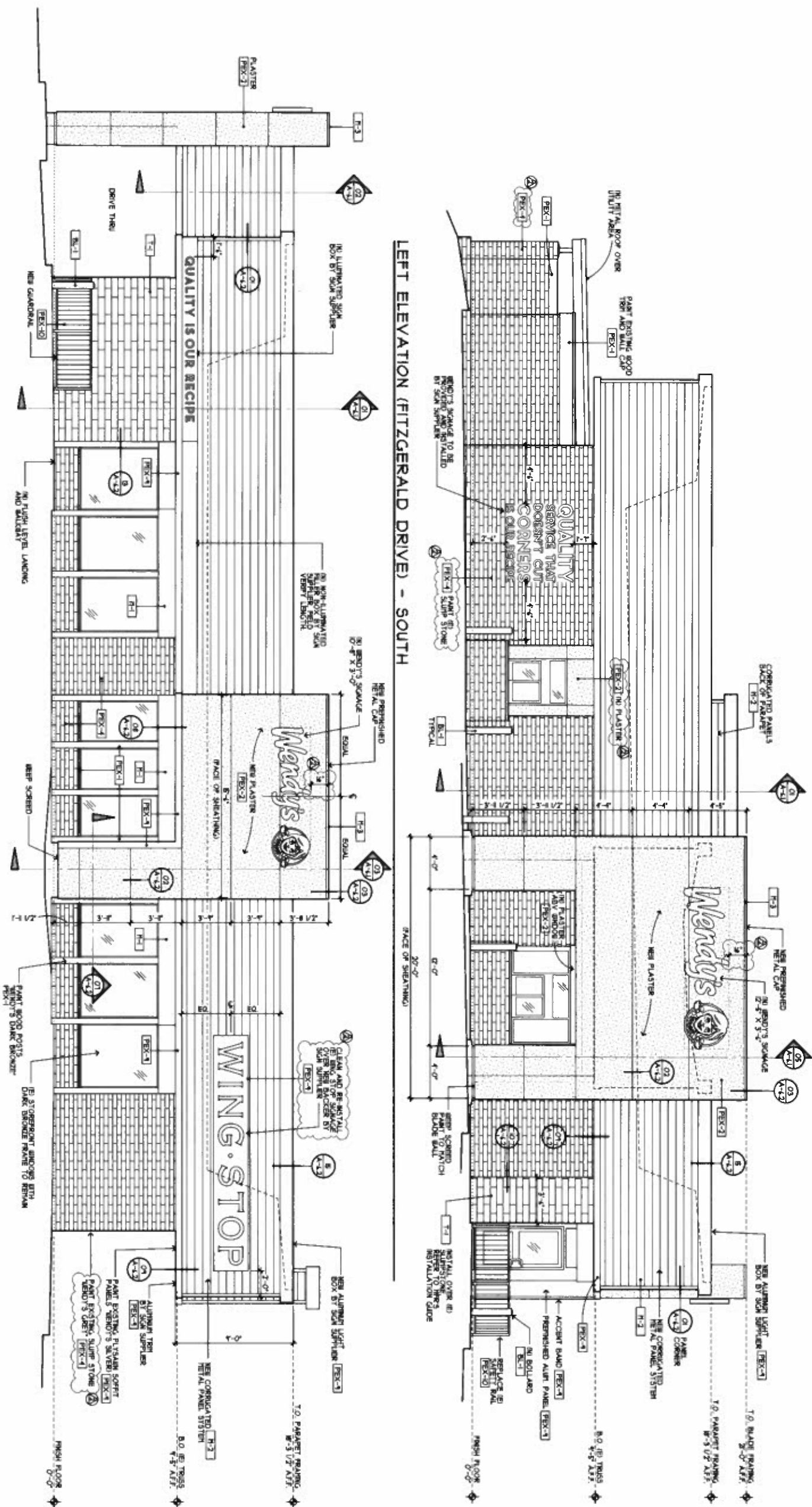
| | |
|-------------------------|----------------|
| SITE NUMBER | 04TTT |
| DATE NOBL | NO STANDARD |
| ASSET TYPE | PARAPET |
| CLASSIFICATION | RENOVATE |
| OWNER | WENDY'S |
| DATE REVIEW | N/A |
| ISSUANCE CLASSIFICATION | N/A |
| PROJECT NAME | REAR ELEVATION |
| DATE | 4/13/2014 |
| DESIGN SHEET NO. | 204 |

D-32

d1



| | | | | | | | | | |
|--------|-----|---------------|--------------|---|------------------------------------|--|--|---------------------------|---------------------|
| Sheet: | A-1 | Job No. B-128 | Date: 3-2016 | Wendy's 1581 FITZGERALD DRIVE, PINOLE, CA 94564 | APN: 426-392-011 STORE #: 04TTT | | GARY HAWKINS ARCHITECT 3048 Caruso Ave., Ste. 135 Chico, CA 95973 (530) 862-2700 gary@ghachico.com | Review: PLAN CHECK | Plot Date: 1/3/2016 |
|--------|-----|---------------|--------------|---|------------------------------------|--|--|---------------------------|---------------------|

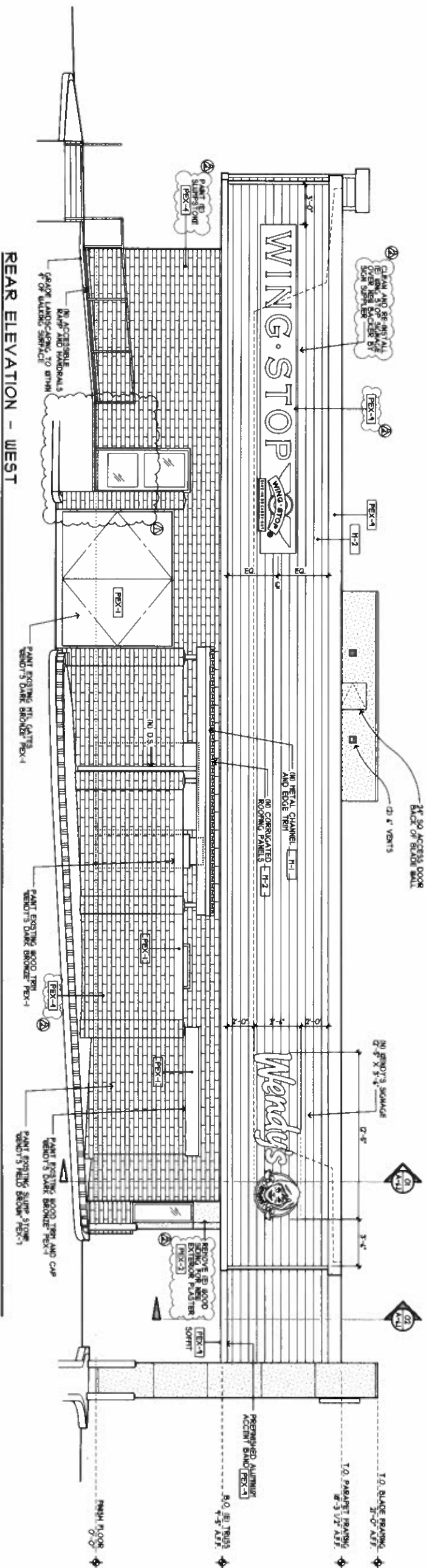


| EXTERIOR FINISH SCHEDULE | |
|--|---|
| REFER TO SHEET A-2 FOR DETAILED FINISH INFORMATION | |
| ITEM | BRICK, METAL TRIM - PERMANENT CLASSIC BRICK* |
| ITEM-2 | COMMUNICATED METAL PANEL - PERMANENT CLASSIC BRICK* |
| ITEM-3 | METAL BLADE CAP - PERMANENT METAL, RED |
| ITEM-4 | VENETO'S DARK BRONZE* |
| ITEM-5 | VENETO'S EXTENSIVE RED* |
| ITEM-6 | VENETO'S GREY* |
| ITEM-7 | NOT SHOWN (2) |
| ITEM-8 | VENETO'S SILVER* |
| ITEM-9 | BLACK* |
| ITEM-10 | CROSSVALE TILE 16"X16" VENETO'S WOODGRAIN* |
| ITEM-11 | PRO-TEK BOLLARD SILVER, RED* |

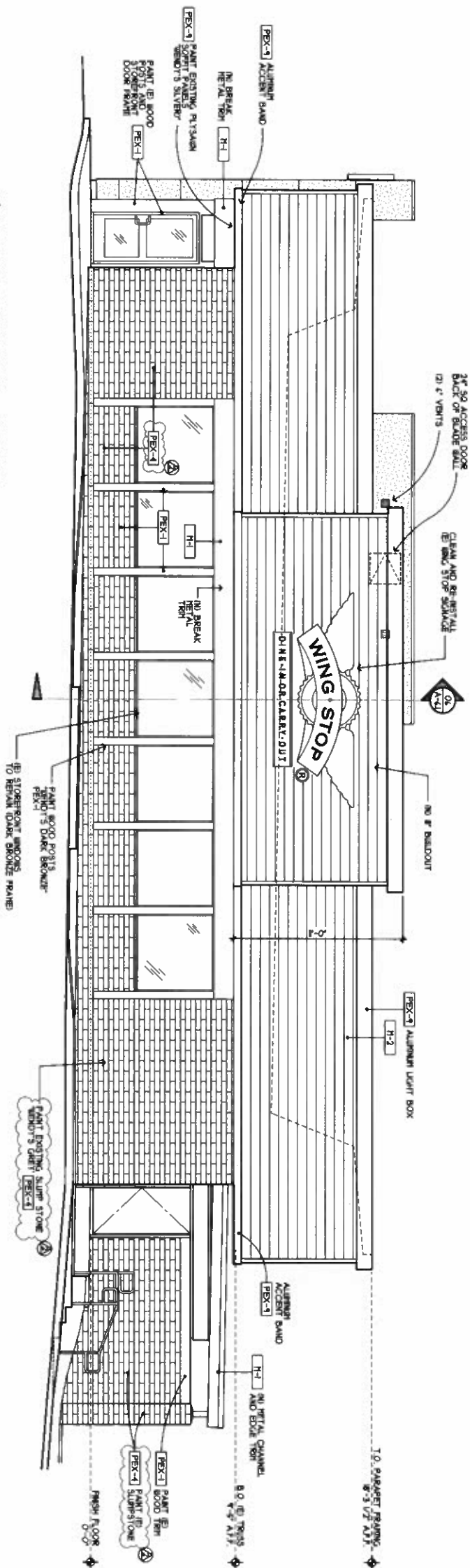
Wendy's
APN: ST
1581 FITZGERALD DRIVE, PINOLE, CA 94564

GHA
GARY HAWKINS ARCHITECT
3046 Carro Ave. Ste. 136 (530) 862-2700
Chico, CA 95973 gery@ghachico.com

| | |
|--|---------------------|
| Revisions: 1. 11/1/2004 PLAN CHECK 2. 11/1/2004 PLANNING REV | Plot Date: 4/5/2004 |
|--|---------------------|



RIGHT ELEVATION - NORTH



REAR ELEVATION - WEST

| EXTERIOR FINISH SCHEDULE | |
|--|--|
| REFER TO SHEET A-4 FOR DETAILED FINISH INFORMATION | |
| N-1 | BREAK METAL TRIM - PRE-FINISHED 'CLASSIC BRONZE' |
| N-2 | CORRUGATED METAL PANEL - PRE-FINISHED 'CLASSIC BRONZE' |
| N-3 | METAL BLADE CAP - PRE-FINISHED 'METAL RED' |
| PEX-1 | WENDY'S DARK BRONZE |
| PEX-2 | WENDY'S EXTERIOR RED |
| PEX-3 | WENDY'S SILVER |
| PEX-4 | WENDY'S GIBET |
| PEX-5 | WENDY'S SILVER |
| PEX-6 | WENDY'S SILVER |
| PEX-7 | WENDY'S SILVER |
| PEX-8 | WENDY'S SILVER |
| PEX-9 | WENDY'S SILVER |
| PEX-10 | WENDY'S SILVER |
| PEX-11 | WENDY'S SILVER |
| PEX-12 | WENDY'S SILVER |
| PEX-13 | WENDY'S SILVER |
| PEX-14 | WENDY'S SILVER |
| PEX-15 | WENDY'S SILVER |
| PEX-16 | WENDY'S SILVER |
| PEX-17 | WENDY'S SILVER |
| PEX-18 | WENDY'S SILVER |
| PEX-19 | WENDY'S SILVER |
| PEX-20 | WENDY'S SILVER |
| PEX-21 | WENDY'S SILVER |
| PEX-22 | WENDY'S SILVER |
| PEX-23 | WENDY'S SILVER |
| PEX-24 | WENDY'S SILVER |
| PEX-25 | WENDY'S SILVER |
| PEX-26 | WENDY'S SILVER |
| PEX-27 | WENDY'S SILVER |
| PEX-28 | WENDY'S SILVER |
| PEX-29 | WENDY'S SILVER |
| PEX-30 | WENDY'S SILVER |
| PEX-31 | WENDY'S SILVER |
| PEX-32 | WENDY'S SILVER |
| PEX-33 | WENDY'S SILVER |
| PEX-34 | WENDY'S SILVER |
| PEX-35 | WENDY'S SILVER |
| PEX-36 | WENDY'S SILVER |
| PEX-37 | WENDY'S SILVER |
| PEX-38 | WENDY'S SILVER |
| PEX-39 | WENDY'S SILVER |
| PEX-40 | WENDY'S SILVER |
| PEX-41 | WENDY'S SILVER |
| PEX-42 | WENDY'S SILVER |
| PEX-43 | WENDY'S SILVER |
| PEX-44 | WENDY'S SILVER |
| PEX-45 | WENDY'S SILVER |
| PEX-46 | WENDY'S SILVER |
| PEX-47 | WENDY'S SILVER |
| PEX-48 | WENDY'S SILVER |
| PEX-49 | WENDY'S SILVER |
| PEX-50 | WENDY'S SILVER |
| PEX-51 | WENDY'S SILVER |
| PEX-52 | WENDY'S SILVER |
| PEX-53 | WENDY'S SILVER |
| PEX-54 | WENDY'S SILVER |
| PEX-55 | WENDY'S SILVER |
| PEX-56 | WENDY'S SILVER |
| PEX-57 | WENDY'S SILVER |
| PEX-58 | WENDY'S SILVER |
| PEX-59 | WENDY'S SILVER |
| PEX-60 | WENDY'S SILVER |
| PEX-61 | WENDY'S SILVER |
| PEX-62 | WENDY'S SILVER |
| PEX-63 | WENDY'S SILVER |
| PEX-64 | WENDY'S SILVER |
| PEX-65 | WENDY'S SILVER |
| PEX-66 | WENDY'S SILVER |
| PEX-67 | WENDY'S SILVER |
| PEX-68 | WENDY'S SILVER |
| PEX-69 | WENDY'S SILVER |
| PEX-70 | WENDY'S SILVER |
| PEX-71 | WENDY'S SILVER |
| PEX-72 | WENDY'S SILVER |
| PEX-73 | WENDY'S SILVER |
| PEX-74 | WENDY'S SILVER |
| PEX-75 | WENDY'S SILVER |
| PEX-76 | WENDY'S SILVER |
| PEX-77 | WENDY'S SILVER |
| PEX-78 | WENDY'S SILVER |
| PEX-79 | WENDY'S SILVER |
| PEX-80 | WENDY'S SILVER |
| PEX-81 | WENDY'S SILVER |
| PEX-82 | WENDY'S SILVER |
| PEX-83 | WENDY'S SILVER |
| PEX-84 | WENDY'S SILVER |
| PEX-85 | WENDY'S SILVER |
| PEX-86 | WENDY'S SILVER |
| PEX-87 | WENDY'S SILVER |
| PEX-88 | WENDY'S SILVER |
| PEX-89 | WENDY'S SILVER |
| PEX-90 | WENDY'S SILVER |
| PEX-91 | WENDY'S SILVER |
| PEX-92 | WENDY'S SILVER |
| PEX-93 | WENDY'S SILVER |
| PEX-94 | WENDY'S SILVER |
| PEX-95 | WENDY'S SILVER |
| PEX-96 | WENDY'S SILVER |
| PEX-97 | WENDY'S SILVER |
| PEX-98 | WENDY'S SILVER |
| PEX-99 | WENDY'S SILVER |
| PEX-100 | WENDY'S SILVER |

Sheet: A-4.2

APN: 426-392-011

STORE #: 04TTT

Wendy's

1581 FITZGERALD DRIVE, PINOLE, CA 94564

GARY HAWKINS ARCHITECT

3045 Ceres Ave., Ste. 136

Chico, CA 95923

GARY HAWKINS ARCHITECT

3045 Ceres Ave., Ste. 136

Chico, CA 95923

Rev: 1/2/2004

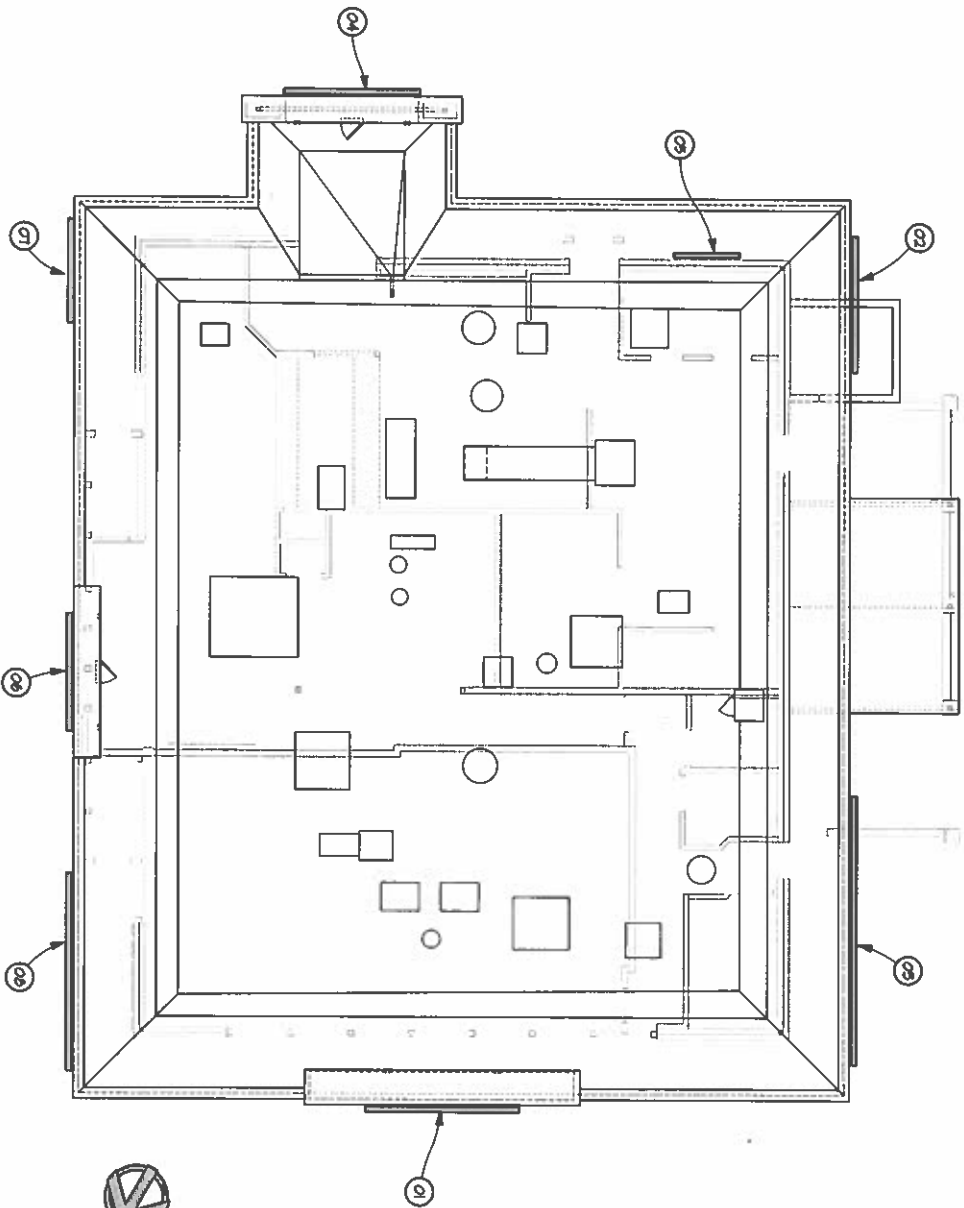
1/2/2004

1/2/2004

Rev: 1/2/2004

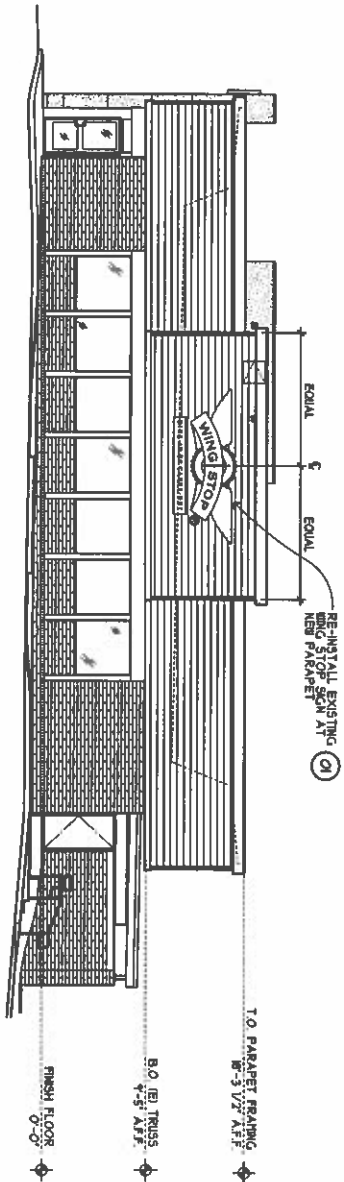
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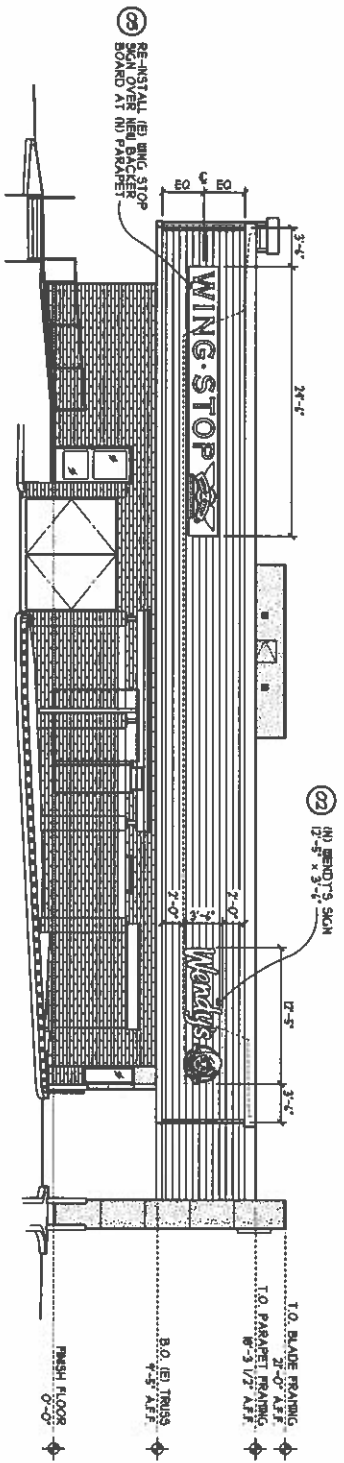


| EXTERIOR SIGNAGE | | |
|--|----|-----------------------|
| NORTH | 01 | WING STOP LARGE LOGO |
| | 02 | WENDY'S 12'-5" |
| WEST | 03 | WING STOP + LOGO |
| | 04 | WENDY'S 12'-5" |
| | 05 | QUALITY SERVICE |
| SOUTH | 06 | WENDY'S 10'-8" |
| | 07 | QUALITY IS OUR RECIPE |
| | 08 | WING STOP |
| TOTAL PROPOSED SIGNAGE = 321 SF (300 SF ALLOWABLE) | | |

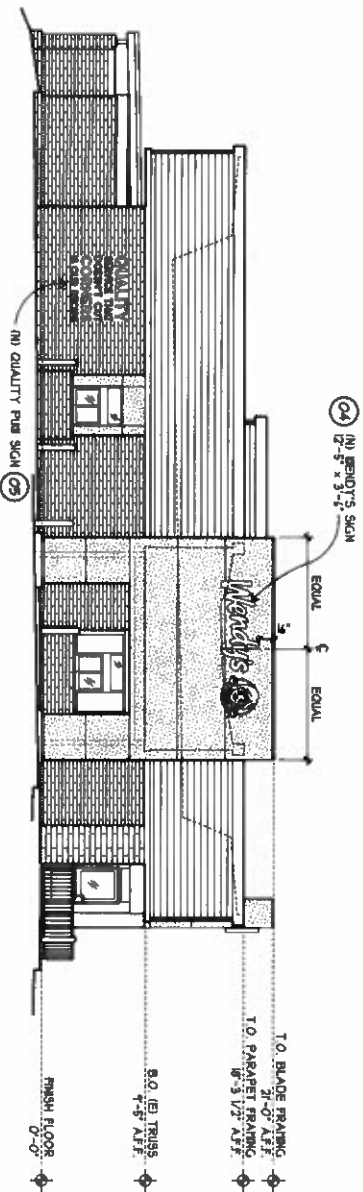
RIGHT ELEVATION - NORTH



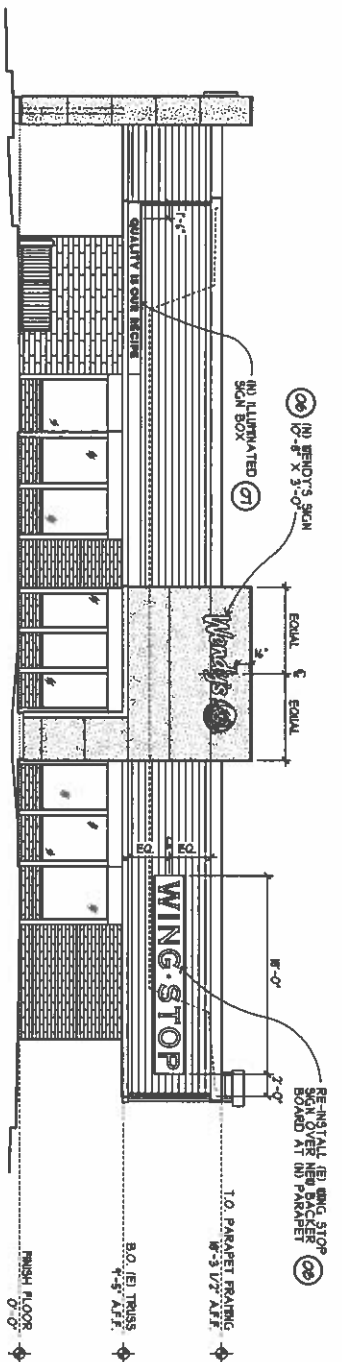
REAR ELEVATION - WEST



LEFT ELEVATION (FITZGERALD DRIVE) - SOUTH



FRONT ELEVATION (APPIAN WAY) - EAST



Wendy's

1581 FITZGERALD DRIVE, PINOLE, CA 94564

APN: 426-392-011
STORE #: 04TT1



GHA
GARY HAWKINS ARCHITECT
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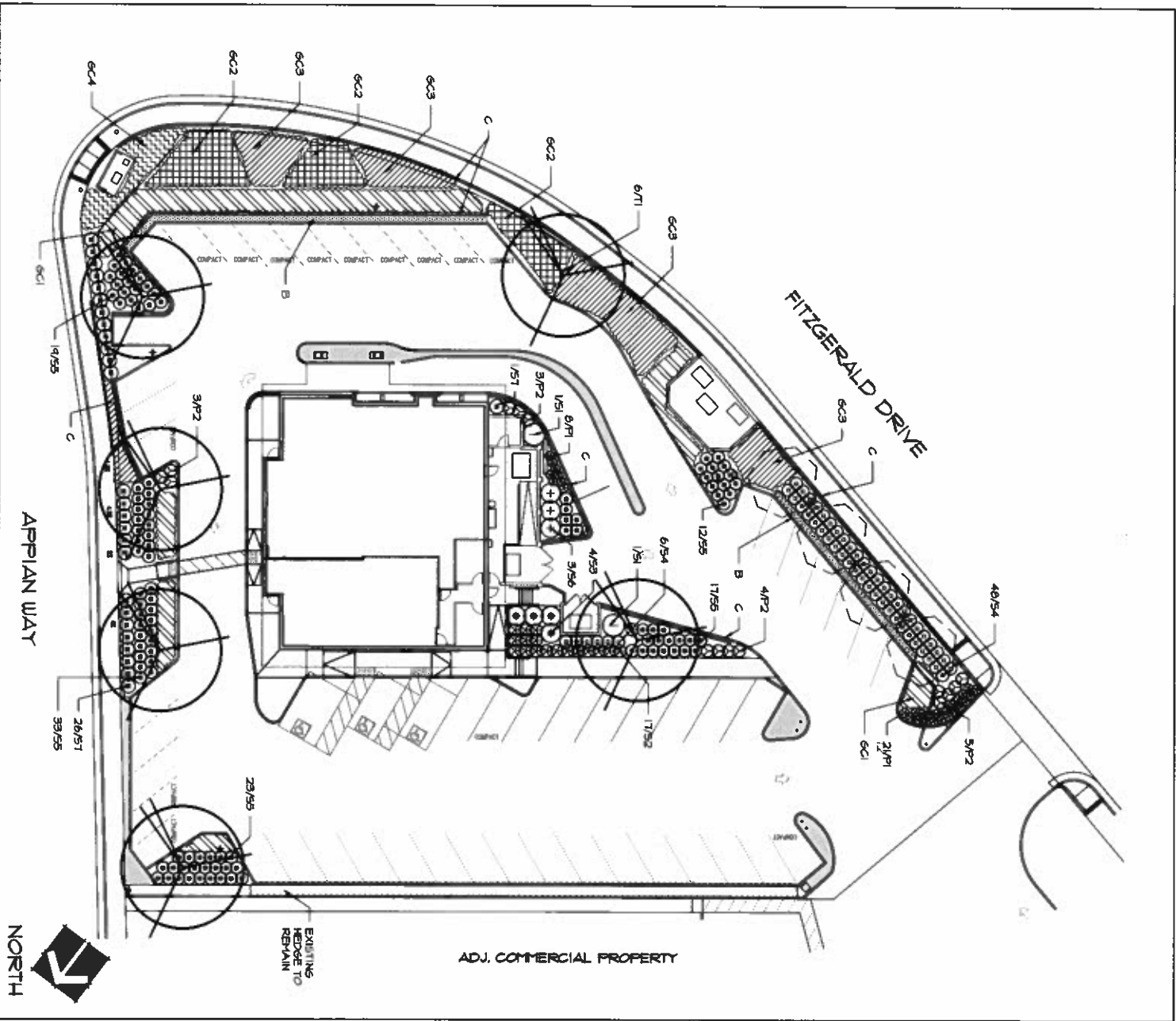
Pls. Date: 1/15/2016

| | |
|-----------------|-----------------|
| DATE: 1-15-2016 | DATE: 1-15-2016 |
| DRAWN: GC | DRAWN: GC |
| CHECKED: IB-128 | CHECKED: IB-128 |
| SHEET: 1 | SHEET: 1 |

- A. The landscape plan will comply with the requirements of the water efficient landscape ordinance (WELO).
- B. Elements of the Landscape Documentation Package:
 - (a) The Landscape Documentation Package shall include the following six (6) elements:
 - (i) project information
 - (a) project address
 - (b) project location
 - (c) project address (if available, parcel and/or lot number)
 - (ii) local landscape area (figure leaf)
 - (iii) project type (e.g. new, retrofit/renovated, public, private, consistency, homeowner-stabilized)
 - (iv) water supply type (e.g. potable, recycled, well) and identify the local retail water purveyor if the applicant is not served by a private well
 - (v) detailed project documents in Landscape Documentation Package
 - (vi) project contacts to include contact information for the project applicant and property owner
 - (b) applicant signature and date with statement, "I agree to comply with the requirements of the water efficient landscape ordinance and submit a complete Landscape Documentation Package."
 - (c) Water Efficient Landscape Worksheet
 - (d) water budget calculations
 - (e) Nonrain Applied Water Allowance (NAAWL)
- C. Estimated Total Water Use (ETWU)
 - (a) soil management report
 - (b) landscape design plan
 - (c) irrigation design plan and
 - (d) grading design plan.

3. Remove all existing plant material, except to retain the existing grasses along Fitzgerald Drive, landscape fabric and accessible irrigation system components.
4. Place 2" depth of size crushed rock, color to be determined by the architect, in the areas indicated, appropriate to the rock type and color, with a 20% recycled header stock of 3/4" in center intervals.
5. Deconstruct the existing Kagitanga walls and curbs and set aside.
6. Construct the new landscape wall by installing a new 4" minimum depth crushed rock base setting back inside the first course of the wall. The wall shall be constructed with a 20% recycled header stock of 3/4" in center intervals to secure the wall. Install a new cap piece set in place with Taped Nail or equal adhesive
7. A Soils Fertility Test with recommendations shall be provided with the Landscape documentation Package per the Hodel Interim Environmental Compliance (HIED) Requirements. The results of the test shall be reported to the architect. The soils test shall be collected after grading operations and prior to installation of landscape materials. The Landscape Contractor shall install all soil amendments, as recommended or better, to correct deficiencies noted by the soils report.
8. Soils planting shall be a minimum three-gallon size. Landscape plants used for mass planting shall be containerized plants with groundcover planting shall be containerized plants less than three (3) feet in order to achieve full coverage within one (1) year.

- The landscape plans will comply with the requirements of the Master Affirmative landscape ordinance (M-LDO).
- A Certificate of Completion shall be submitted to the City and the project applicant shall fill out the certificate for the installation of the City upon completion of the landscape project.
- SOIL PREPARATION AND AMENDMENTS**
- After rough grading operations, the contractor is responsible for determining a soils report that provides an analysis of the existing soil that indicates what soil amendments are necessary to achieve the required strength. The contractor shall incorporate the recommended amendments thoroughly, achieving all planting areas to a depth of eight (8) inches. Rough finish grade all areas.
- Broadcast the following soil amendments. Quantities given are per 1000 square feet of area.
- 1) Broadcast 100 lbs. of a balanced, complete soil analysis recommendations, or 4 cu ft for bed purposes
- 2) Pelletized fertilizer (21-0-0), 10 lbs., or as per soil analysis recommendations
- 3) Soil sulfur, per soil analysis recommendations
- Cultivate and thoroughly incorporate the amendments into the top eight (8) inches of soil.
- Demolish and thoroughly incorporate the amendments into the top eight (8) inches of soil.
- Pick-up. All rocks to be placed by using a mechanical rock breaker. All rocks larger than 1 inch in diameter are to be removed.
- Install weed barrier. Fiber fabric *OTR* drip irrigation components, manufactured by Dabbol Bros., 22 mil thick and 2.5 inches per square yard. Dabbol Pro-5 or equivalent. Secure fabric segments to soil with 6" x 6" steel U shape pins. Overlay adjacent fabric segments a minimum of six (6) inches and secure with pins at twenty four (24) inches on center.
- Install 9" depth 1/2 inch mesh over the fiber fabric on all drive and gravel cover planting areas. Rock mesh shall be installed and demarcated and manufactured from five (5) inch round Rod No. 6. The material shall be equal to that referred to as Rock on Board. In the trade.



| Key | Botanical Name - Common Name | Qty. / Size | off | Symbol |
|--------------|--|-------------|-------|--------|
| Tree | | | | |
| T1 | Zakoua serrata 'Green Vase' - Japanese Zakoua | 6 | #15 H | |
| 64#48#36 | | | | |
| 51 | Lepidospermum kamigatai 'Keywest' | 2 | #5 L | ① |
| 52 | Varied domestic 'Compositae' - Compositae 'Hagueny' Bambusa | 17 | #5 L | ② |
| 53 | Biophytum indica 'Bullseye' - 'Coff' Pink 'Indica' Bambusa | 4 | #5 L | ③ |
| 54 | Biophytum indica 'Bullseye' - 'Dwarf' Pink 'Indica' Bambusa | 102 | #2 L | ④ |
| 55 | Rosa indica 'Flower Carpet Red' - 'Red Flower' Compositae Rose | 12 | #2 L | ⑤ |
| 56 | Tournefortia 'Pinkish' - 'Pinkish' Rose | 4 | #5 L | ⑥ |
| 57 | Neobanksia indica 'Morning Light' | 21 | #5 L | ⑦ |
| PERENNIALS | | | | |
| P1 | Hemerocallis hybrid 'Stella D'Oro' - 'Dwarf Yellow Day Lily | 24 | #1 L | ⑧ |
| P2 | Tulbaghia violacea - 'Society Garlic | 15 | #1 L | ⑨ |
| GRASS COVERS | Size price | | | |
| 6C1 | #1 Lortona montanaensis 'Spreading Swathes' - 'Yellow Trailing Lortona | | | |
| | Plant gal. @ \$67 o.z. | | | |
| 6C2 | #1 V.L. Bouchardii phillipsii 'Trib Peaks' - 'Cayote Bush | | | |
| | Plant gal. @ \$67 o.z. | | | |
| 6C3 | #1 Rosmarina officinalis 'Prostratus' - 'Trailing Rosemary | | | |
| | Plant gal. @ \$67 o.z. | | | |
| 6C4 | #1 Callus scutellaria 'Prostratus' - 'Sage Leaf Rock Rose | | | |
| | Plant gal. @ \$67 o.z. | | | |

Note: Contractor to verify all quantities from plan. Plant legend is for reference only.
 Notes: #1 P1, #102 P2, #102 P3, #102 P4, #102 P5, #102 P6, #102 P7, #102 P8, #102 P9, #102 P10, #102 P11, #102 P12, #102 P13, #102 P14, #102 P15, #102 P16, #102 P17, #102 P18, #102 P19, #102 P20, #102 P21, #102 P22, #102 P23, #102 P24, #102 P25, #102 P26, #102 P27, #102 P28, #102 P29, #102 P30, #102 P31, #102 P32, #102 P33, #102 P34, #102 P35, #102 P36, #102 P37, #102 P38, #102 P39, #102 P40, #102 P41, #102 P42, #102 P43, #102 P44, #102 P45, #102 P46, #102 P47, #102 P48, #102 P49, #102 P50, #102 P51, #102 P52, #102 P53, #102 P54, #102 P55, #102 P56, #102 P57, #102 P58, #102 P59, #102 P60, #102 P61, #102 P62, #102 P63, #102 P64, #102 P65, #102 P66, #102 P67, #102 P68, #102 P69, #102 P70, #102 P71, #102 P72, #102 P73, #102 P74, #102 P75, #102 P76, #102 P77, #102 P78, #102 P79, #102 P80, #102 P81, #102 P82, #102 P83, #102 P84, #102 P85, #102 P86, #102 P87, #102 P88, #102 P89, #102 P90, #102 P91, #102 P92, #102 P93, #102 P94, #102 P95, #102 P96, #102 P97, #102 P98, #102 P99, #102 P100, #102 P101, #102 P102, #102 P103, #102 P104, #102 P105, #102 P106, #102 P107, #102 P108, #102 P109, #102 P110, #102 P111, #102 P112, #102 P113, #102 P114, #102 P115, #102 P116, #102 P117, #102 P118, #102 P119, #102 P120, #102 P121, #102 P122, #102 P123, #102 P124, #102 P125, #102 P126, #102 P127, #102 P128, #102 P129, #102 P130, #102 P131, #102 P132, #102 P133, #102 P134, #102 P135, #102 P136, #102 P137, #102 P138, #102 P139, #102 P140, #102 P141, #102 P142, #102 P143, #102 P144, #102 P145, #102 P146, #102 P147, #102 P148, #102 P149, #102 P150, #102 P151, #102 P152, #102 P153, #102 P154, #102 P155, #102 P156, #102 P157, #102 P158, #102 P159, #102 P160, #102 P161, #102 P162, #102 P163, #102 P164, #102 P165, #102 P166, #102 P167, #102 P168, #102 P169, #102 P170, #102 P171, #102 P172, #102 P173, #102 P174, #102 P175, #102 P176, #102 P177, #102 P178, #102 P179, #102 P180, #102 P181, #102 P182, #102 P183, #102 P184, #102 P185, #102 P186, #102 P187, #102 P188, #102 P189, #102 P190, #102 P191, #102 P192, #102 P193, #102 P194, #102 P195, #102 P196, #102 P197, #102 P198, #102 P199, #102 P200, #102 P201, #102 P202, #102 P203, #102 P204, #102 P205, #102 P206, #102 P207, #102 P208, #102 P209, #102 P210, #102 P211, #102 P212, #102 P213, #102 P214, #102 P215, #102 P216, #102 P217, #102 P218, #102 P219, #102 P220, #102 P221, #102 P222, #102 P223, #102 P224, #102 P225, #102 P226, #102 P227, #102 P228, #102 P229, #102 P230, #102 P231, #102 P232, #102 P233, #102 P234, #102 P235, #102 P236, #102 P237, #102 P238, #102 P239, #102 P240, #102 P241, #102 P242, #102 P243, #102 P244, #102 P245, #102 P246, #102 P247, #102 P248, #102 P249, #102 P250, #102 P251, #102 P252, #102 P253, #102 P254, #102 P255, #102 P256, #102 P257, #102 P258, #102 P259, #102 P260, #102 P261, #102 P262, #102 P263, #102 P264, #102 P265, #102 P266, #102 P267, #102 P268, #102 P269, #102 P270, #102 P271, #102 P272, #102 P273, #102 P274, #102 P275, #102 P276, #102 P277, #102 P278, #102 P279, #102 P280, #102 P281, #102 P282, #102 P283, #102 P284, #102 P285, #102 P286, #102 P287, #102 P288, #102 P289, #102 P290, #102 P291, #102 P292, #102 P293, #102 P294, #102 P295, #102 P296, #102 P297, #102 P298, #102 P299, #102 P300, #102 P301, #102 P302, #102 P303, #102 P304, #102 P305, #102 P306, #102 P307, #102 P308, #102 P309, #102 P310, #102 P311, #102 P312, #102 P313, #102 P314, #102 P315, #102 P316, #102 P317, #102 P318, #102 P319, #102 P320, #102 P321, #102 P322, #102 P323, #102 P32

Installing Contractor shall verify quantities and areas to be planted prior to start of job. Notify Landscaper Architect of any discrepancies prior to starting work.

All planting areas shall be completely free of trash, debris, rocks, and construction materials larger than 2" and shall be brought to Finish grade before planting begins. Finish grade shall be 2" below surface of walks, curbs, and paved areas in planting areas where bark is to be installed. Grades shall be flush at catch basins. Surfaces shall be sloped with regard to drainage requirements so that water does not puddle or stand.

If additional soil is required, it shall be approved so that same is similar to the existing soil and possible, free of debris and rocks. Material prior to placing shall be soil, dirt, or compost. Free of debris and rocks. Spread 1" to 2" of material to the existing soil and possible a one inch layer of new soil then proceed to place remaining soil and establish Finish grade.

Soil preparation for shade planting areas: Apply certified wood product amendment at a minimum rate of 4 cubic yards per 1000 sq. ft., commercial fertilizer (16-16-16 NPK or equivalent at a rate of 10 lbs. per 1000 sq. ft., gypsum at a rate of 50 lb. per 1000 sq. ft., Soil preparation for lawn planting areas: equivalent at a rate of 10 lbs. per 1000 sq. ft., gypsum at a rate of 100 lb. per 1000 sq. ft., Rockfill to a depth of 6" to 10". Compact and settle all areas.

Irrigation to a minimum depth of 12".

All plants shall be top quality, vigorous, stock, free of disease and insect pests. Plants shall be normal size for container, vigorous, and true to name and variety. Plant holes shall be the same depth as the root ball, and two times the width for shrubs and three times the width for trees. Back fill for the plant holes shall be existing soil.

(16-6-12, 4 month formula per manufacturer's recommendations.

When planted, crown of plant shall be 1/2-2" above Finish grade. Prepare a water basin by forming a soil ring at least 3" high and as wide around the outer edge of the root ball. Water thoroughly to eliminate air pockets.

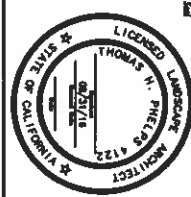
Upon completion of planting all concentrated material, rake all shrub and ground cover areas to smooth grade, leaving retaining bricks intact. Prior to placement of bark mulch, all shrub and ground cover areas shall be treated with a pre-emergent herbicide (Renoster or equivalent per manufacturer's directions).

Place a 3" layer of shredded cedar bark in all shrub and ground cover areas prior to planting trees. Mulch all shrub and ground cover plants.

Backed cuttings or stems of ground cover plants shall be discarded in a straight row and evenly distributed along the edge of the planting area.

Brigadier applied at intervals noted in plant legend. Plant each rooted plant with the appropriate amount of rooting soil in a manner that will insure minimum disturbance of the root system.

For trees that require staking use two 2" diameter braced lodge pole stakes set a minimum of 12" into undisturbed sub grade below the root ball. Place ties and stakes only to the level which will hold the tree upright; proper height is 6" above the point where the tree will snap to an upright position by itself if the top is pulled to one side as it is tied loaded and then released. Ties shall be cutch-free flexible vinyl (or equal) nailed to stakes with galvanized nails.



WENDY'S PINOLE VISTA
LANDSCAPE IMPROVEMENT PLANS
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PINOLE, CA 94564

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THPLA, Inc.

**UNDERGROUND
SERVICE ALERT**
of Northern California
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811

TWO WORKING DAYS BEFORE YOU DIE

| | | |
|--------------|-------------|------------|
| Project No.: | TRIP | Sheet No.: |
| Drawn By: | TRIP | |
| Scale: | 1"=20' | |
| Date: | 22 FEB 2016 | |

- (a) The landscape plan will comply with the requirements of the water efficient landscape ordinance (WELO).
- Elements of the Landscape Documentation Package:
 - (a) The Landscape Documentation Package shall include the following six (6) elements:
 - (1) project information:
 - (A) date
 - (B) project applicant
 - (C) project location (if applicable, parcel or project name)
 - (D) total landscape area (square feet)
 - (2) project type (e.g., new, rehabilitated, public, private, cemetery, homeowner-initiated)
 - (3) water supply type (e.g., potable, recycled, well) and identify the local retail water purveyor if the applicant is not served by a public well
 - (4) checklist of all documents in Landscape Documentation Package
 - (5) contact information for the applicant including address, phone number and e-mail address for the project applicants
 - (6) and properly owner
 - (7) applicant signature and date with statement, "I agree to comply with the requirements of the water efficient landscape ordinance and submit a complete Landscape Documentation Package"
 - (2) Water Efficient Landscape Ordinance:
 - (A) irrigation information table
 - (B) water budget calculation
 - (C) water applied table
- (b) Minimum Applied Water Allowance (MAWA)
2. Estimated Total Water Use (ETWU)
- (3) soil management report;
- (4) landscape design plan;
- (5) irrigation design plan and
- (6) grading design plan.

| | PIPE SIZES SCHEDULE | | | |
|-----------|---------------------|--------------|--------------|-----|
| | 1/2" | 0-5 | 0-6 | 0-4 |
| PIPE SIZE | CL 200 (66M) | CL 315 (66M) | SC4 40 (66M) | |
| 3/4" | 6-10 | 7-6 | 5-6 | |
| 1" NCH | 11-16 | 9-14 | 9-15 | |
| 1-1/4" | 17-26 | 15-24 | 14-23 | |
| 1-1/2" | 27-35 | 25-33 | 24-32 | |
| 2" NCHES | 36-55 | 34-41 | 33-33 | |
| 2-1/2" | 56-85 | 50-74 | 54-74 | |
| 3" NCHES | 84-125 | 75-104 | 75-116 | |
| 4" NCHES | 126-200 | 110-180 | 117-200 | |

| PIPE OR NUT SIZE | REQUIRED SLEEVE |
|---------------------|-----------------|
| 3/4", 1" PIPE | 1-2" PVC SLEEVE |
| 1-1/4", 1-1/2" PIPE | 2-3" PVC SLEEVE |
| 2", 2-1/2" PIPE | 3-4" PVC SLEEVE |
| 3-4" CONTROL PIPES | 4-5" PVC SLEEVE |
| 2-5" CONTROL PIPES | 5-6" PVC SLEEVE |
| | 7-8" PVC SLEEVE |

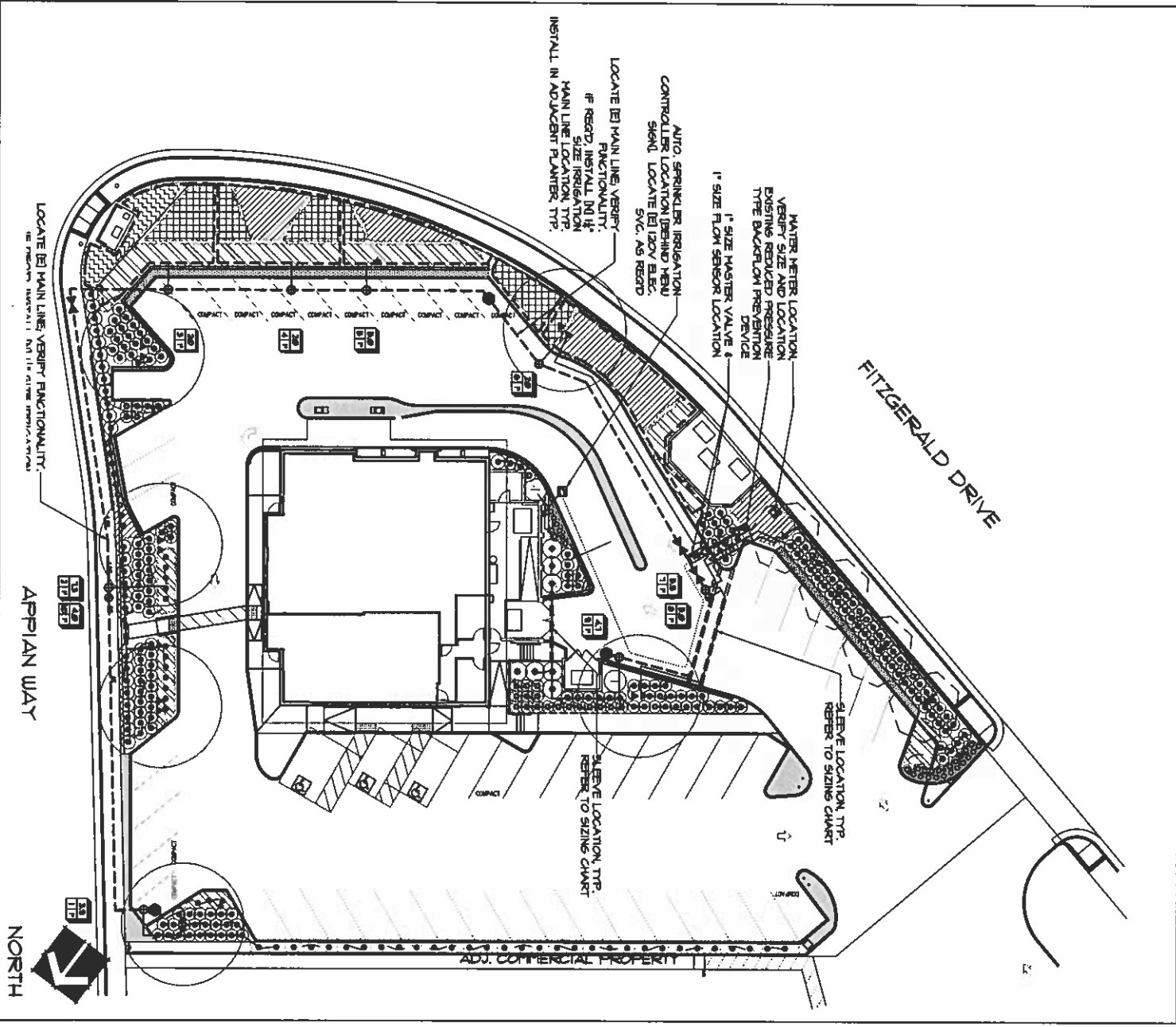
NOTE:
THE IRRIGATION PLAN IS DIAGRAMMATIC. INSTALL
THE IRRIGATION SYSTEM COMPONENTS WITHIN PROJECT
PROSPECTIVITY LINE, IN ADJACENT PLANTERS WHEREVER
POSSIBLE

NOTE: The irrigation design is based on a minimum pressure of 65 psi at the end of the line. The design is based on a minimum flow rate of 25 gpm. The installing LANDSCAPE CONTRACTOR SHALL VERIFY AND VERIFY THE STATIC PRESSURE AT THE POINT OF CONNECTION PRIOR TO STARTING JOB. NOTIFY THE LANDSCAPE ARCHITECT AND PROJECT SUPERVISOR IMMEDIATELY IF WATER AND PRESSURE FLOWS DO NOT MEET THESE MINIMUM REQUIREMENTS.

I have complied with the criteria of Water Efficient Landscape Ordinance (WELDO) and applied them accordingly for the efficient use of water in the Irrigation design plan"



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IRRIGATION PLAN


IRRIGATION NOTES

1. Installing Contractor shall verify all dimensions and areas prior to start of job. Incent is for full coverage of planting. Notify Landscape Architect of any discrepancies prior to trenching.
2. Plan is diagrammatic and not intended to show exact locations of piping and valves. Install valves and piping in landscape areas whenever possible. Install valves near curves and stationary whenever possible. Sprinkler head spacings are shown approximately and shall be installed as indicated by the plan.
3. All materials shall be new and in perfect condition. No deviations from the specifications will be allowed without prior written approval of Landscape Architect.
4. Mainline shall be SCH 40 PVC at a minimum depth of 16" below finish grade. Lateral lines shall be Class 200 PVC at a minimum depth of 8" below grade. Use only the solvent supplied and recommend by the pipe manufacturer to make plastic pipe joints. Allow 15 minutes set-up curing time before moving or handling and 24 hour curing time before water is placed in PVC pipe. Carrier load pipe with a small amount of back fill to prevent crushing and whipping under pressure.
5. Where more than one pipe is installed in a trench, place pipe side by side at a minimum of 2" apart. Where soil conditions are rocky, place a 4" layer of the material on bottom of trench prior to installation of pipe. Refer to detail.
6. All valves shall be installed in Brooks poly-plastic valve boxes (10" round, model 8110C) or equivalent. Fillers to be installed in Brooks #7500 Umbro Box and #4110C box (or equal). Top of valve boxes to be 1" above finished grade.

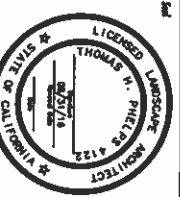
IRRIGATION LEGEND

- | Key | Description |
|--------|---|
| P.O.C. | Point of Connection |
| Sub | Sub provided after Meter |
| ✓ | Existing Meter Meter - verify size & location |
| ✓ | Backflow Prevention Device Backflow Prevention device and enclosure |
| ✓ | Existing Reduced Pressure Type Backflow Prevention device and enclosure |
| ✓ | Gate Valve |
| ✓ | NIBCO T1-5 isolation gate valve (line size) Install below grade in valve box |
| ✓ | Gate Cougher |
| ✓ | Hunter Model LBC pulv. Cougher valve with Locking Rubber Cover & coupler lug Install on SCH 80 PVC Inlets ending joint Install with 4" rubber and flange with stainless steel hose clamps Activate OCV's with the Meter Valve wired to an open station on controller |
| ✓ | Remote Control Valve Install 100'-1, (1 to 20 gpm) 1" size remote control valve Install below grade in valve box |
| ✓ | Remote Control Drip Valve Assembly Install D2K-100-L-PR, (2 to 20 gpm) 1" size drip zone control kit (1" valve, 25 pressure regulator & 150 mesh filter) Install below grade in Canon #1220 Jumbo Valve Box & Lid |
| ✓ | Valve ID Box |
| ✓ | Backflow |
| ✓ | Rain Bird RC-1402 with 5 gpm PCB backflow, check valve, & 10" screen Toro LFM-40-PC (4.0 gpm) drip emitter, with 1/2" threaded sheet with Hunter pro-flux ending joint & elbow, see detail sheet L5 |
| ✓ | 5/8" Chrome Top Flow Sensor SCH 40 PVC, Size as noted with Crystall 9500D with Crystall 141 Electric, 200' o.s. |
| ✓ | Man Line SCH 40 PVC, Size as noted. |
| ✓ | Latent Line CL200 PVC, Size as noted. |
| ✓ | Slurries SCH 40 PVC, Size as noted. |
| ✓ | Landscape Drip Line |
| ✓ | Nelson T150V Line Flush Valve Install at the lowest end of each subterranean drip circuit. Install in a Canon #10 valve Box, set valve 1" below top rim of box |
| ✓ | Hunter P.D.-AVR, Air / Vacuum relief valve. Install at the highest point of each subterranean drip circuit. Install in a Canon #10 valve Box, set valve 1" below top rim of box |
| ✓ | Landscape Drip Distribution Tubing at shrub locations. |
| ✓ | Hunter P.D.-BNC tubing at shrub locations, with P.D.-TEE at each shrub location, with a 5' max. piping section from TEE to emitter. Install a P.D.-C90 barb to 1" IPT adapter with a "Toro" LFM-40 1" IPT (4.0 gpm point source emitter). Place the emitter adjacent to each plant root ball. Set the tubing 2" deep and cover with soil and secure the tubing at 2' intervals with U staples. Cover over with landscape fabric (and eliminate turn), cover over fabric with a 3" depth layer of bark mulch. Refer to detail on sheet L-4 |
| ✓ | Hunter P.D.-416, 4 6/8" H.P. emitters @ 16" spacing) drip tubing. Place the first row 16" apart from edge of pavement, off set the emitters to triangulate the pattern. Set the tubing 2" deep and cover with soil and secure the tubing at 2' intervals with U staples. Cover over with landscape fabric, cover over fabric with a 3" depth layer of bark mulch |
| ✓ | Automatic Controller |
| ✓ | Hunter RC-1200-YES-SEN Controller 12 Station Capacity, Outdoor, Mail Mount with Plastic Cabinet with Wireless Solar Sync sensor & R204H-KIT (by installer) |
| ✓ | Flow Sensor & Meter Valve |
| ✓ | Creative Sensor Technology (CST) 1" size flow sensor (16gpm to 50gpm) Model #FS-10-00C with Ridge Spac #PT17D-A-REY 4 Underground Communication Cable Shutted and Armored Strain 16 AVB2 FALDS, with Drain Pipe |
| ✓ | Meter Valve, Hunter CV-11 size, normally closed. Install and wire to an open station of controller for remote operation |
| ✓ | 5/8" Chrome Top Flow Sensor SCH 40 PVC, Size as noted |

7. Install controller(s) as per detail, refer to the Landscape Improvement Plans.
8. All control wires shall be #14 UL - direct burial, 60' maximum run. Tapes and bundles every 30'. Place at a minimum depth of 16". Run in common trenches with neutrals whenever possible. Where the crosses driving, encase wire in a 500-40 PVC sleeve. For extra mobility, label, and leave in place a 30' loop for future use.
9. All valve boxes for valves shall be brought into valve box and shall have an excess loop of 24" before being spliced into the solenoid pigdials using Pentac connectors.
10. After valves have been installed, test all pipelines for leaks at full line pressure for a period of 2 hours with couplings exposed and pipe sections carefully loaded. Before testing, fill line with water for at least 24 hours. Provisions shall be made for thoroughly bleeding the line of air and debris. Correct all defects and retest.
11. All valves shall be fully filled with the material to 4" above crown of pipe and tamped then fill with earth and backfill to 18" with backfill. Backfill shall be compacted in 6" lifts with a tamping iron.
12. All pipelines shall be installed with sufficient settling shall be corrected by the Contractor.
13. Install systems until all nozzles or emission devices. Flush and operate each valve system at full pressure until all debris is removed. Install nozzles or emission devices.
14. Testing to determine that all operating function according to manufacturer's data and give full coverage according to intent of drawing. Repairs and adjust as necessary. Additional heads shall be installed as needed to obtain full coverage.
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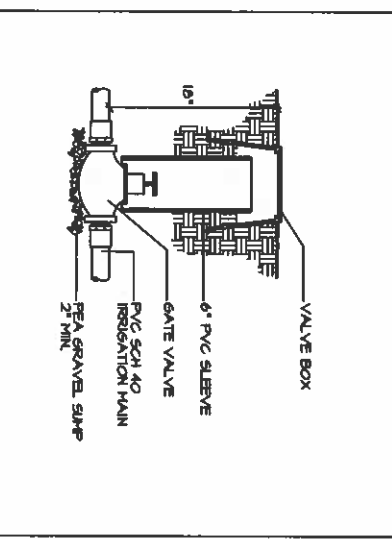
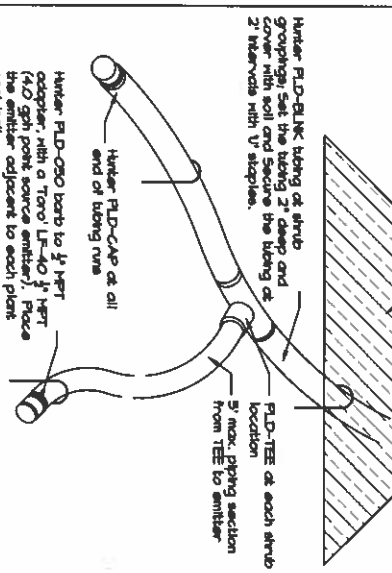
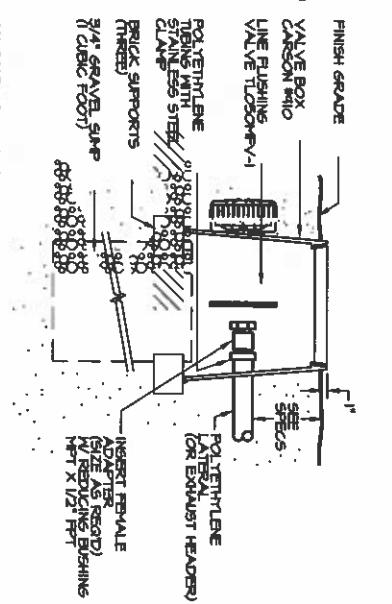
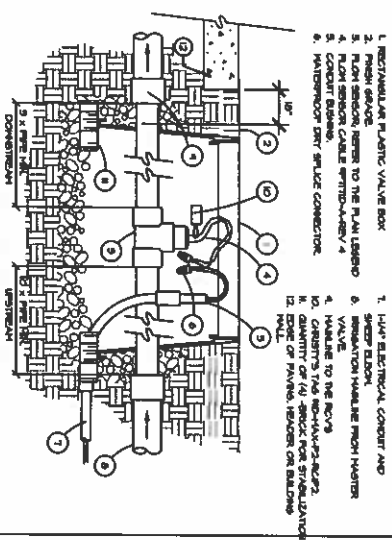
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IRRIGATION PLAN

| № | Вопрос | Ответ |
|---|-----------------------------------|--|
| 1 | Какие виды транспорта существуют? | Автомобиль, самолет, поезд, корабль, вертолет, лодка, трамвай, метро, велосипед, мотоцикл, танк, бронетранспортер, вертолет, лодка, трамвай, метро, велосипед, мотоцикл, танк, бронетранспортер. |
| 2 | Какие виды транспорта существуют? | Автомобиль, самолет, поезд, корабль, вертолет, лодка, трамвай, метро, велосипед, мотоцикл, танк, бронетранспортер, вертолет, лодка, трамвай, метро, велосипед, мотоцикл, танк, бронетранспортер. |
| 3 | Какие виды транспорта существуют? | Автомобиль, самолет, поезд, корабль, вертолет, лодка, трамвай, метро, велосипед, мотоцикл, танк, бронетранспортер, вертолет, лодка, трамвай, метро, велосипед, мотоцикл, танк, бронетранспортер. |
| 4 | Какие виды транспорта существуют? | Автомобиль, самолет, поезд, корабль, вертолет, лодка, трамвай, метро, велосипед, мотоцикл, танк, бронетранспортер, вертолет, лодка, трамвай, метро, велосипед, мотоцикл, танк, бронетранспортер. |
| 5 | Какие виды транспорта существуют? | Автомобиль, самолет, поезд, корабль, вертолет, лодка, трамвай, метро, велосипед, мотоцикл, танк, бронетранспортер, вертолет, лодка, трамвай, метро, велосипед, мотоцикл, танк, бронетранспортер. |

| | | |
|-----------|-------------|-----------|
| Analysis: | THP | Start No. |
| Drawn by: | THP | |
| Scale: | 1"=20' | |
| Date: | 22 FEB 2016 | |
| By Name: | WPEY DTD | |

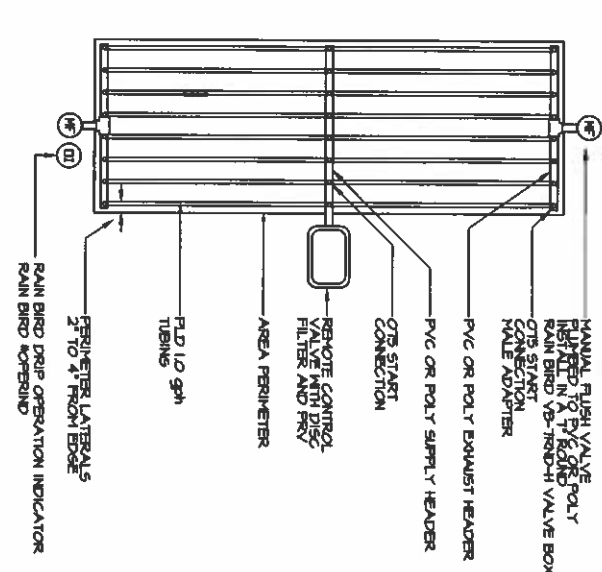
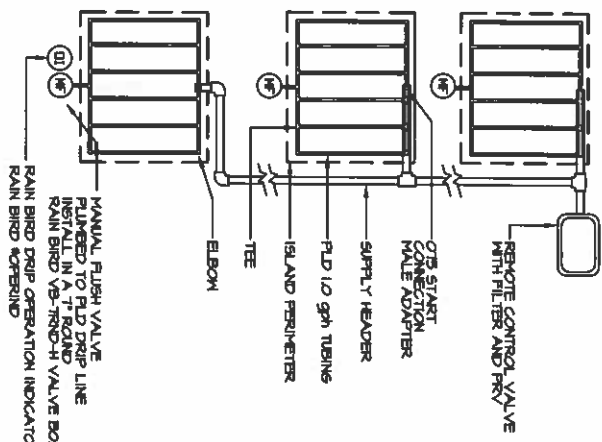


FLOW SENSOR DETAIL

DRIP TUBING LINE FLUSHING VALVE

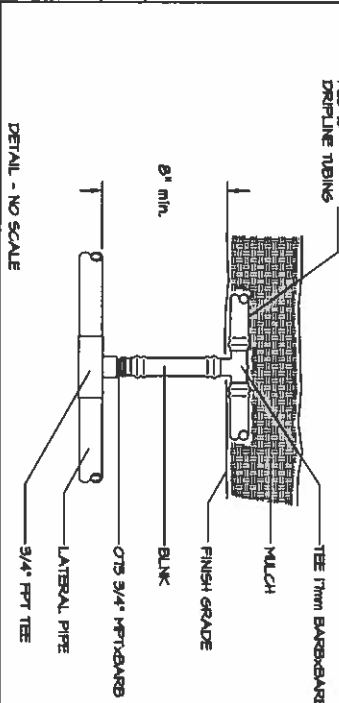
DRIP TUBING & BUBBLER DETAIL

GATE VALVE

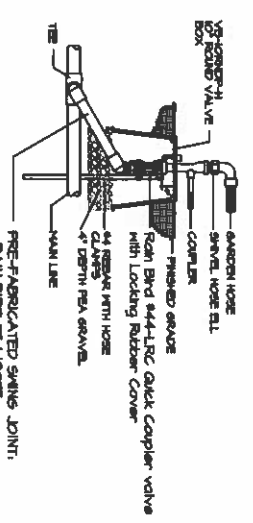


PLD ISLAND LAYOUT

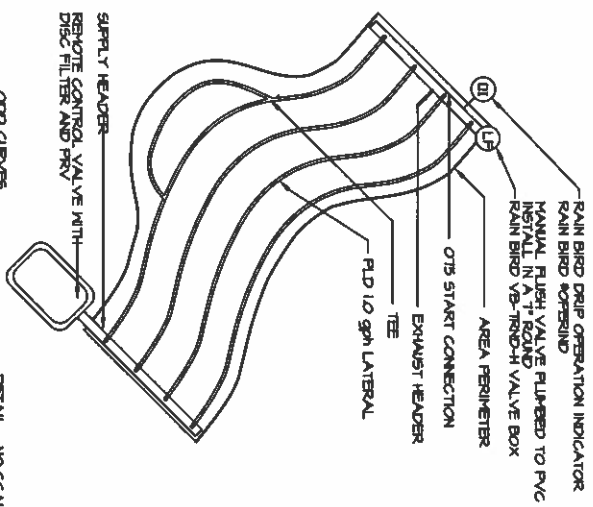
PLD CENTER FEED LAYOUT



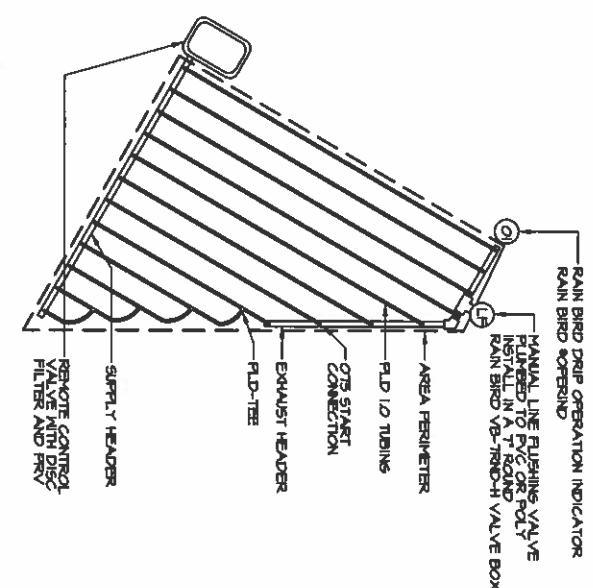
PLD CONNECTION DETAIL



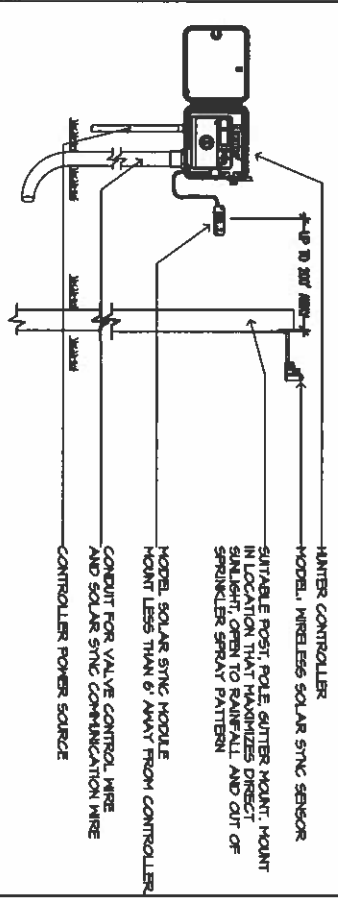
QUICK COUPLER VALVE



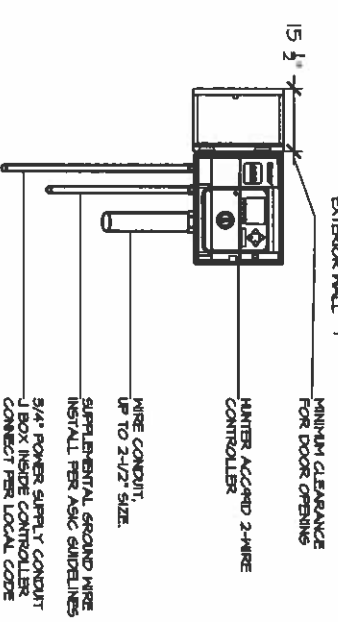
PLD IRREGULAR AREAS



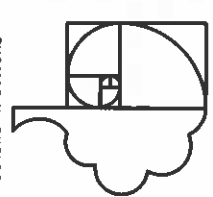
PLD TRIANGULAR AREAS



WIRELESS SOLAR SYNC SENSOR INSTALLATION

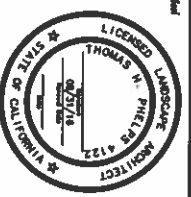


CONTROLLER INSTALLATION



THOMAS H. PHEIPS
LANDSCAPE ARCHITECTURE
THPLA, INC.
California Landscape Architect #41122
P.O. BOX 6328
Oroquieta, CA 95972-4328
(530)892-5887 fax (530)892-9588
thp@thp.com

WENDY'S PINOLE VISTA
LANDSCAPE IMPROVEMENT PLANS
1581 FITZGERALD DRIVE
PINOLE, CA 94564



DATE: 22 FEB 2016
DRAWN BY: JDT
CHECKED BY: JDT
SCALE: 1/32
SHEET: 3



Memorandum

TO: PLANNING COMMISSION MEMBERS

FROM: WINSTON RHODES, AICP, PLANNING MANAGER

SUBJECT: San Francisco Bay Trail Pinole Shores to Bayfront Park Workshop

DATE: June 27, 2016

File: Design Review (DR 16-15)

| | |
|---|---|
| Applicant: East Bay Regional Park District P.O Box 5381 Oakland, CA 94605-03381 | Property Owner: East Bay Regional Park District Union Pacific Railroad City of Pinole |
|---|---|

WORKSHOP PURPOSE

Review, discuss, and exchange information concerning the proposed San Francisco Bay Trail Segment between Pinole Shores and Bayfront Park and discuss specific design features based on the physical setting and various trail design constraints established by the Union Pacific and Burlington Northern Santa Fe Railroad.

SITE LOCATION

East Bay Regional Park District property between Union Pacific Railroad and Burlington Northern Santa Fe Railroad tracks, Union Pacific Railroad right of way, and Bayfront Park along the San Pablo Bay shoreline (APN: 402-140-007, 402-140-001, 401-010-009, and 401-010-007). A location map for the project is attached (see Attachment A).

BACKGROUND

The San Francisco Bay Trail is a non-motorized recreational corridor proposed to encircle San Francisco and San Pablo Bays with a continuous 500-mile network of bicycling and hiking trails. The corridor will connect the shoreline of all nine Bay Area counties, link 47 cities and eventually cross all the major toll bridges in the region. To date, approximately 340 miles of the alignment have been completed.

A key segment of the Bay Trail exists along the San Pablo Bay Shoreline within the City of Pinole between Pinole Shores and Bayfront Park. Fifteen years ago, the Park District began to evaluate the alternatives for providing a trail alignment in this area and as a result of those studies determined to

construct a new segment of the San Francisco Bay Trail including a bridge over the Union Pacific Railroad.

The development of the proposed Bay Trail segment represents a long effort to add a trail connection along an inaccessible portion of the San Pablo Bay Shoreline in Pinole.

The East Bay Regional Park District is the lead agency for the project and has previously prepared and certified an Environmental Impact Report for the project. As part of that environmental review process in 2011 the City mentioned that the project requires a design review by the City of Pinole based upon Zoning Code Section 17.12.150. The City's Municipal Code authorizes the Planning Commission to take final action on the design review request. The Planning Commission will rely on the previously prepared environmental review information to meet applicable California Environmental Quality Act requirements. This is a unique public project that requires permits from multiple public agencies in addition to the City of Pinole as well as railroad approval of the design and construction process. Additionally, an easement from the City is required for the use of Bayfront Park property that is within the purview of the City Council.

The City Council received an informational presentation on the project on June 7, 2016. A copy of the presentation information was previously provided to the Commission. A Planning Commission Development Review Subcommittee meeting was held on this project on June 16, 2016. The history and scope of the project was reviewed as well as some of the development constraints that apply to a trail which crosses a heavily used Union Pacific Railroad corridor. The subcommittee mentioned potential concerns about visual impacts, the construction activity process, and project features including the proposed railing, trail decking, and the proposed overlook. Some of the major design constraints are summarized below:

- Harsh environment adjacent to San Pablo Bay,
- Vertical clearance above the railroad tracks for the grade separated trail overcrossing;
- The trail overcrossing support placement location and design;
- The construction time where encroachment is allowed within actively used railroad right-of way;
- The need to utilize design components that are exceedingly durable and require little maintenance;
- Accessibility requirements that affect the trail slope; and
- Various public safety issues.

Representatives from the East Bay Regional Park District will be available to provide project details and go into more details about applicable design constraints as well as discuss past community concerns and how the project has evolved to address prior public feedback received.

Several design details that should be considered are listed below:

- The side of the elevated structure for the grade separated portion of the trail;
- The trail railing design;
- The overlook design features including seating and interpretative signage;
- Trail amenities at Bayfront Park for trail users.

DESIGN REVIEW REQUEST

The design review request is to construct an approximately 0.5 mile long and 14 foot wide segment of the San Francisco Bay Trail extending a non-motorized paved recreational trail along the San Pablo Bay Shoreline in Pinole from a hillside bluff across from Hazel Drive in Pinole Shores east over the Union Pacific Railroad (UPRR) tracks to connect to an existing path in Bayfront Park.

STAFF RECOMMENDATION

Consider the submitted project information, staff information and public input and provide feedback to the applicant and staff.

ATTACHMENTS

Attachment A Project Design Information dated stamped received June 7, 2016
Attachment B Proposed Color and Material Information (to be provided at the meeting)
Attachment C Project Environmental Review information. See links below.

http://www.ebparks.org/Assets/ Nav_Categories/Park_Planning/Pinole+Shores/Pinole_FinalEIR.pdf

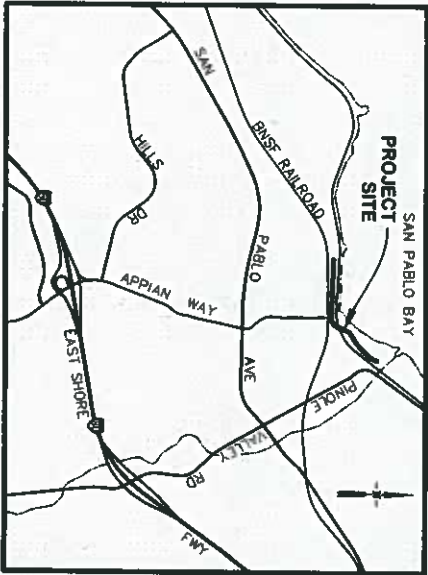
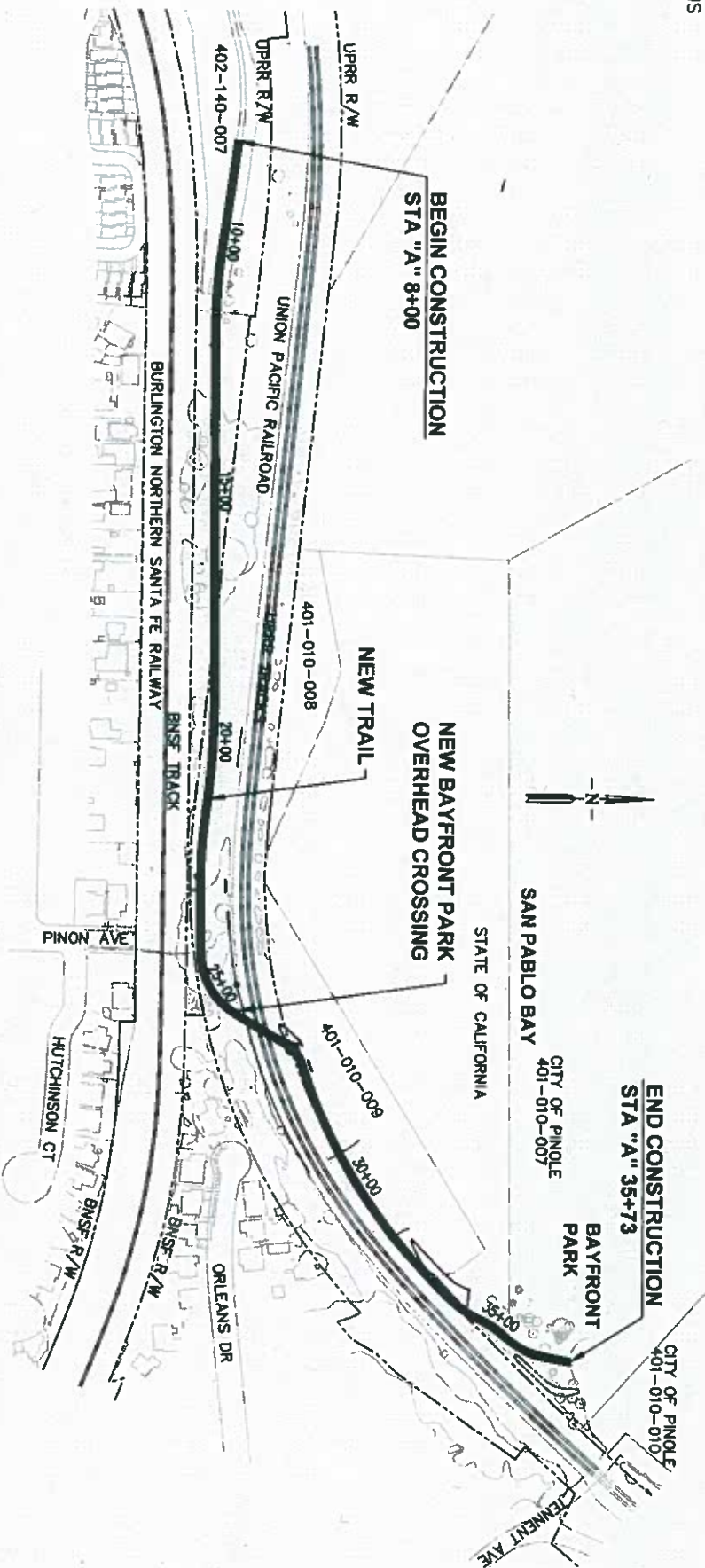
http://www.ebparks.org/Assets/files/ebprd_Pinole_Shores_Appendices.pdf

http://www.ebparks.org/Assets/ Nav_Categories/Park_Planning/Pinole+Shores/Pinole+Shores+4ft_Final.pdf

INDEX OF SHEETS

| No. | ID | DESCRIPTION |
|-------|-----|---|
| 1 | - | TITLE SHEET |
| 2 | GN | GENERAL NOTES AND PROJECT CONTROL |
| 3 | X | TYPICAL CROSS SECTIONS |
| 4-6 | L | LAYOUT AND PROFILE |
| 7-9 | C | CONSTRUCTION DETAILS |
| 10 | CP | CONSTRUCTION PHASING PLAN |
| 11-12 | WPC | TEMPORARY WATER POLLUTION CONTROL PLANS |
| 13-14 | EC | EROSION CONTROL PLANS |
| 15-16 | D | DRAINAGE AND UTILITY PLANS |
| 17 | DP | DRAINAGE PROFILES |
| 18-19 | PDS | PAVEMENT DELINEATION AND SIGN PLANS |
| 1-63 | S | STRUCTURE PLANS |

EAST BAY REGIONAL PARK DISTRICT
PROJECT PLANS FOR CONSTRUCTION
OF SAN FRANCISCO BAY TRAIL -
PINOLE SHORES TO BAYFRONT PARK SEGMENT
IN CONTRA COSTA COUNTY IN PINOLE
TO BE SUPPLEMENTED BY CALTRANS STANDARD PLANS DATED 2010



SITE PLAN
NOT TO SCALE

RECEIVED
JUN 07 2016
CITY OF PINOLE
DEVELOPMENT SERVICES DEPT.

ATTACHMENT A

UTILITY CONTACT INFORMATION

| CONTACT | UTILITY | REPRESENTATIVES | PHONE |
|---------------|-------------------|-------------------|--------------|
| U.S.A. | U.S.A. | | 811 |
| LEVEL 3 | TELECOMMUNICATION | JENNIFER CRUMPTON | 720-888-0767 |
| KINDER MORGAN | PETROLEUM | BRYAN WEEKS | 707-438-2108 |

THE CONTRACTOR SHALL POSSESS THE CLASS (OR CLASSES)
OF LICENSE AS SPECIFIED IN THE "NOTICE TO BIDDERS"

| NO. | REVISIONS | BY | DATE |
|-----|-----------|----|------|
| 1 | | | |
| 2 | | | |
| 3 | | | |
| 4 | | | |
| 5 | | | |

| |
|------------------------|
| DESIGN BY : NCK |
| DRAWN BY : NCK |
| CHECKED BY : SK |
| SCALE : NO SCALE |
| DATE : 06-12-2016 |
| URS PROJ No.: 27560856 |

PROJECT ENGINEER

PLANS APPROVAL DATE

URS

ENGINEERING • PLANNING • CM

2020 L STREET, SUITE 400
SACRAMENTO, CA 95811 (916) 414-8800

East Bay

Regional Park District

SAN FRANCISCO BAY TRAIL
PINOLE SHORES TO BAYFRONT PARK
PURCHASE ORDER No. P21343

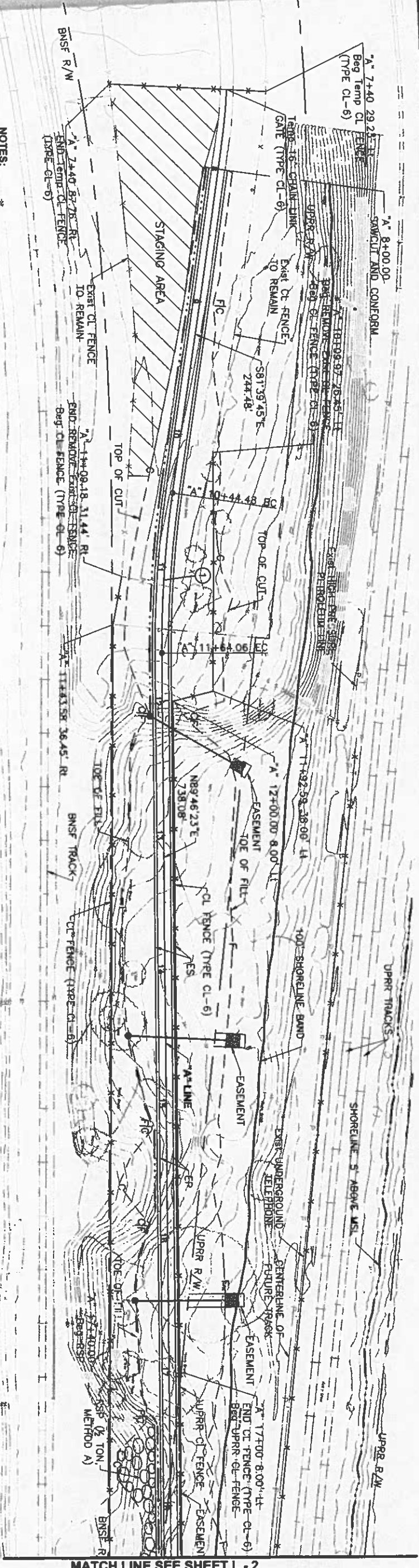
TITLE SHEET

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| 19 |

MAY 2016

90% SUBMITTAL
NOT FOR CONSTRUCTION

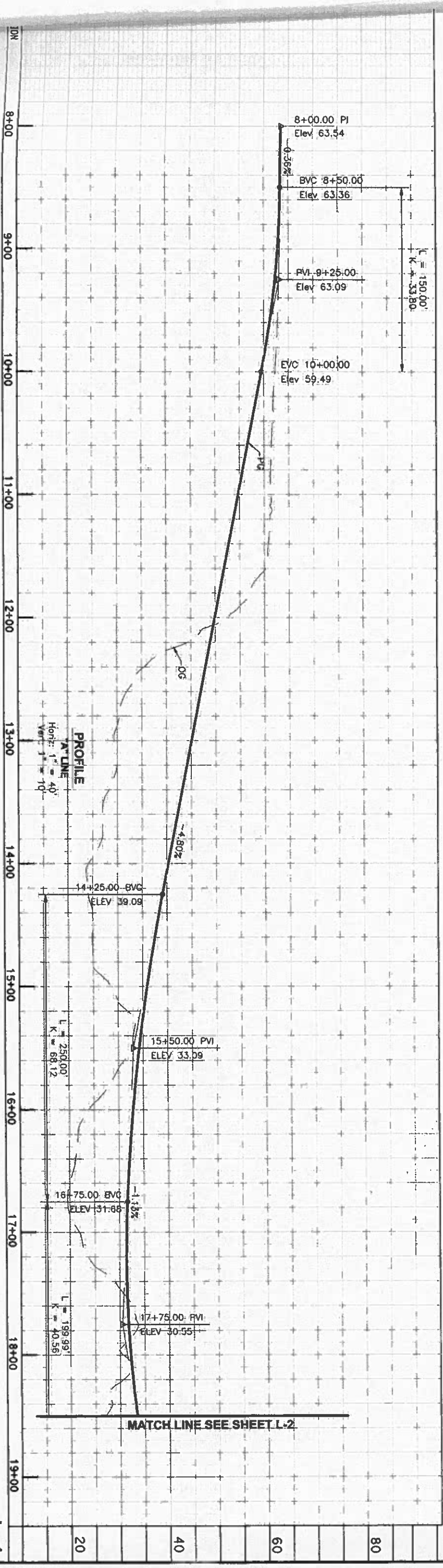
| | |
|---|------|
| SUBMITTED BY: | DATE |
| SAMI KALANTARI URS PROJECT MANAGER | |
| APPROVED BY: | DATE |
| EAST BAY REGIONAL PARK DISTRICT | |
| APPROVED AS TO FEATURES AFFECTING CITY OF PINOLE FACILITIES: | |
| DIRECTOR OF DEVELOPMENT SERVICES/ CITY ENGINEER | DATE |



- NOTES:
1. FOR COMPLETE RIGHT OF WAY DATA SEE RIGHT OF WAY RECORD MAPS AT EAST BAY REGIONAL PARK DISTRICT.
 2. SEE CONSTRUCTION DETAILS FOR ADDITIONAL INFORMATION NOT SHOWN.

PLAN
1" = 40'

| CURVE TABLE | | | | |
|-------------|---------|---------|-----------|---------|
| CURVE | RADIUS | LENGTH | DELTA | TANGENT |
| ① | 800.00' | 119.58' | 08°33'52" | 59.90' |



PROFILE
1" = 40'
HORIZ: 1" = 40'
VERT: 1" = 10'

REVISIONS

| BY | DATE |
|----|------|
| | |
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| | |

DESIGN BY: NCK

DRAWN BY: NCK

CHECKED BY: SK

SCALE: AS SHOWN

DATE: 05-12-2016

URS PROJ No.: 27560056

PROJECT ENGINEER

URS

ENGINEERING • PLANNING • CM

2020 L STREET, SUITE 400

SACRAMENTO, CA 95811 (916) 414-8300

East Bay

Regional Park District

SAN FRANCISCO BAY TRAIL

PINOLE SHORES TO BAYFRONT PARK

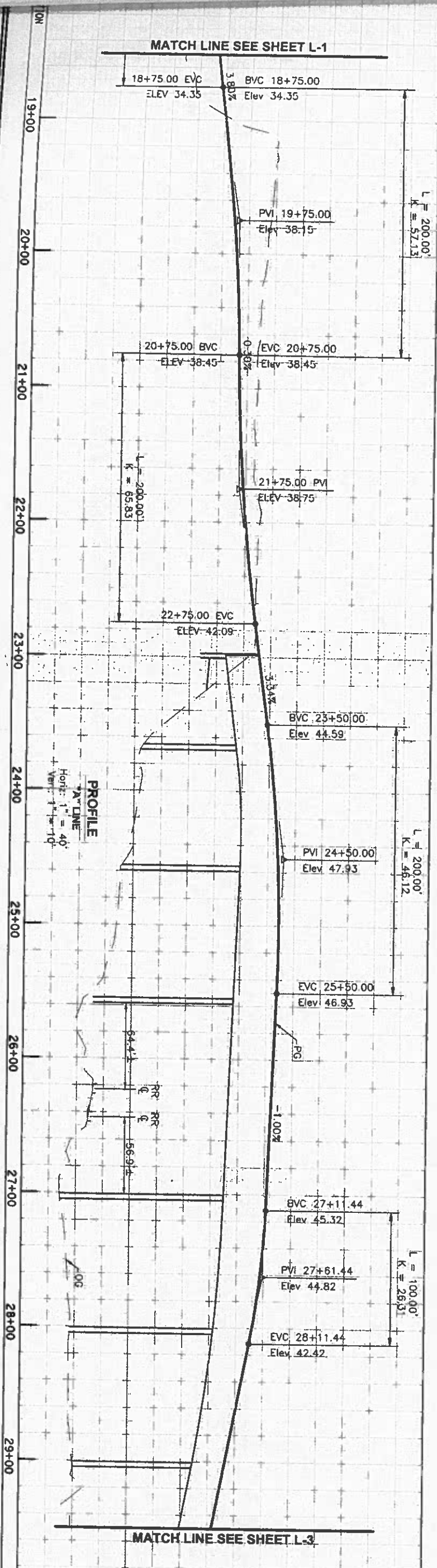
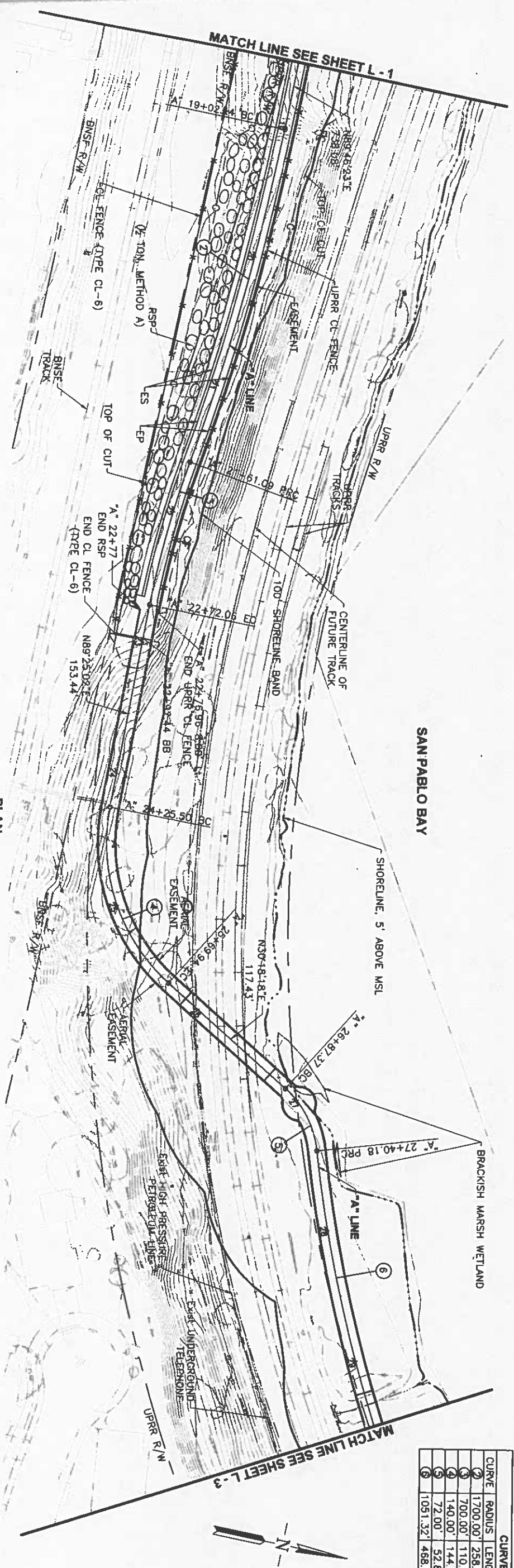
PURCHASE ORDER NO. P21343

LAYOUT AND PROFILE

4

19

| CURVE TABLE | | | | |
|-------------|----------|---------|-----------|---------|
| CURVE | RADIUS | LENGTH | DELTA | TANGENT |
| 1 | 1700.00' | 258.95' | 08°43'39" | 129.72' |
| 2 | 700.00' | 110.97' | 09°04'59" | 55.60' |
| 3 | 140.00' | 144.44' | 59°06'44" | 79.39' |
| 4 | 72.00' | 52.81' | 42°01'25" | 27.66' |
| 5 | 1051.32' | 488.13' | 25°30'45" | 238.01' |



REVISIONS

| NO. | BY | DATE | DESCRIPTION |
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DESIGN BY: NGK

DRAWN BY: NGK

CHECKED BY: SK

SCALE: AS SHOWN

DATE: 05-12-2016

URS PROJ NO.: 27560856

PROJECT ENGINEER

PLANS APPROVAL DATE

ENGINEERING • PLANNING • CM

2020 L STREET, SUITE 400

BACRAMENTO, CA 95811

(916) 414-8900

East Bay

Regional Park District

SAN FRANCISCO BAY TRAIL

PINOLE SHORES TO BAYFRONT PARK

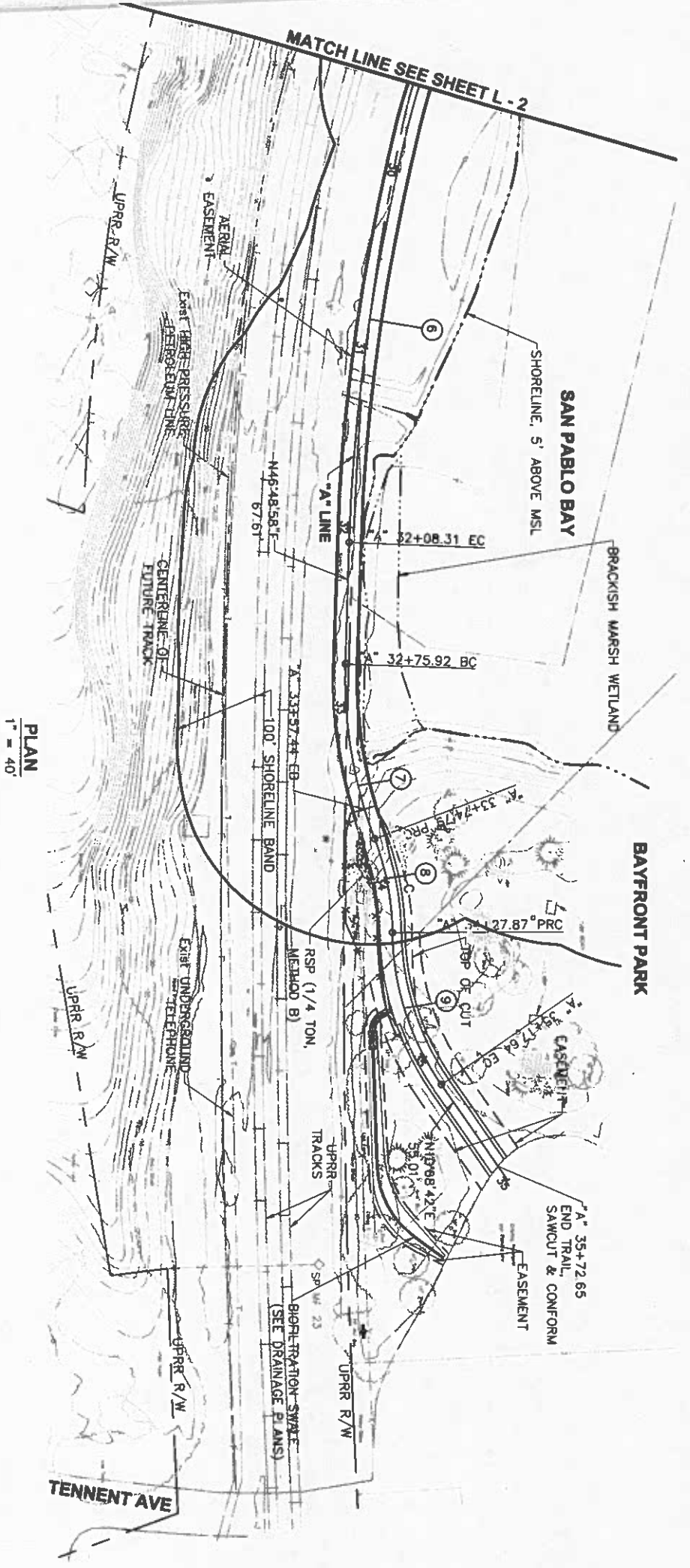
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LAYOUT AND PROFILE

L-2

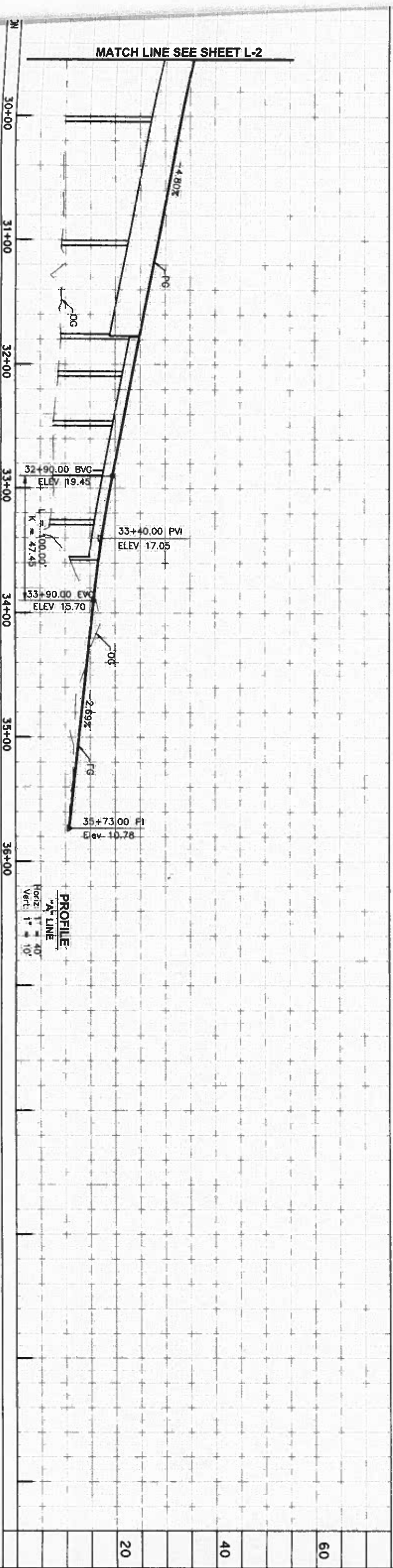
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19



PLAN
1" = 40'

| CURVE TABLE | | | | |
|-------------|----------|---------|-----------|---------|
| CURVE | RADIUS | LENGTH | DELTA | TANGENT |
| 6 | 1051.32' | 468.13' | 25°30'45" | 238.01' |
| 7 | 250.00' | 98.87' | 22°39'33" | 50.09' |
| 8 | 150.00' | 53.08' | 20°16'38" | 26.82' |
| 9 | 150.00' | 89.77' | 34°17'20" | 46.27' |



PROFILE
"A" LINE
HORIZ: 1" = 40'
VERT: 1" = 10'

| REVISIONS | |
|-----------|------|
| BY | DATE |
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DESIGN BY: NGK
DRAWN BY: NGK
CHECKED BY: SK
SCALE: AS SHOWN
DATE: 05-12-2016
URS PROJ No.: 27560856

PROJECT ENGINEER

PLANS APPROVAL DATE

URS
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2020 L STREET, SUITE 400
SACRAMENTO, CA 95811 (916) 414-6800

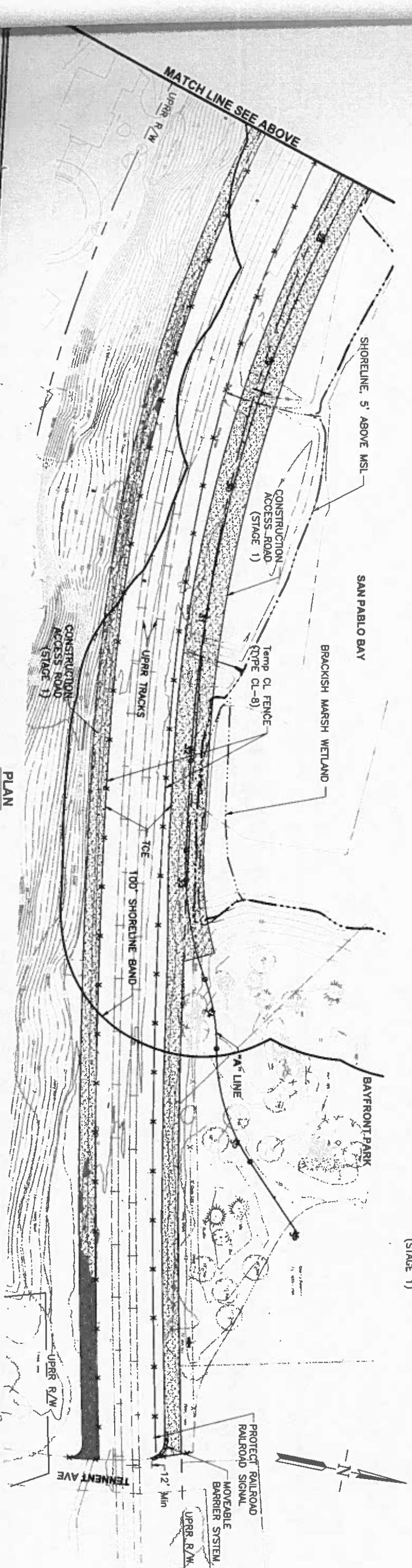
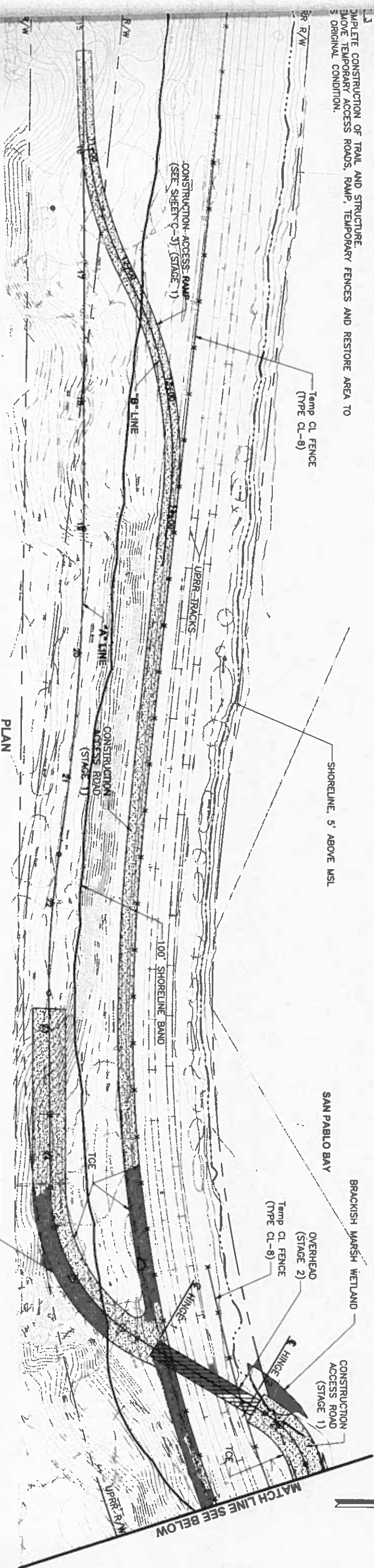
East Bay
Regional Park District

SAN FRANCISCO BAY TRAIL
PINOLE SHORES TO BAYFRONT PARK
PURCHASE ORDER NO. P21343

LAYOUT AND PROFILE

GE CONSTRUCTION NOTES:

- E.1
CONSTRUCT TEMPORARY CONSTRUCTION ACCESS ROADS AND RAMP WITH MINIMUM HORIZONTAL CLEARANCE OF 15' FROM CENTERLINE OF TRACKS BEHIND TEMPORARY CHAIN LINK FENCE.
CONSTRUCT TRAIL EMBANKMENTS.
CONSTRUCT PORTIONS OF THE STRUCTURE TO THE LIMITS OF HINGE NOS. 1 & 2.
TEMPORARY FALSEWORK SHALL BE LOCATED WITH MINIMUM HORIZONTAL CLEARANCE OF 15' FROM CENTERLINE OF TRACKS BEHIND TEMPORARY FENCE.
- E.2
CONSTRUCT REMAINING PORTION OF THE STRUCTURE BETWEEN HINGE NOS. 1 & 2 WITH USE OF CRANE.
- E.3
COMPLETE CONSTRUCTION OF TRAIL AND STRUCTURE.
REMOVE TEMPORARY ACCESS ROADS, RAMP, TEMPORARY FENCES AND RESTORE AREA TO ORIGINAL CONDITION.



REMEMBER

| | |
|----|------|
| BY | DATE |
|----|------|

DESIGN BY : NCK

DRAWN BY : NGK

CHECKED BY : SK

卷之二

URS BN1 No. 776064

PROJECT ENGINEER

PLANS APPROVAL DATE

**Dr.**

ENGINEERING • PLANNING • CM

2020 L STREET, SUITE 400



East Bay
Regional Park District

**SAN FRANCISCO BAY TRAIL
PINOLE SHORES TO BAYFRONT PARK
PURCHASE ORDER NO. P21343**